



FIXING (INC. WATERPROOFING) STAGE INSPECTION REPORT

1234 Main St. Melbourne VIC 3000

Buyer Name
05/08/2021 9:00AM



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Inspection Agreement

1. This is an Agreement between you, the undersigned Client, and us, Owner Inspections, pertaining to our inspection of the Property.
2. If there is more than one Client, you are signing on behalf of all of you, and you represent that you are authorised to do so.
3. 'Owner Inspections' Report carries out in accordance with the guidelines of Australian Standard 4349.1 2007 (Standard) which covers the minimum requirements for the Visual Inspection of residential buildings. The purpose of the Inspection is to provide a visual Inspection and provide in-writing advice only to the prospective purchaser/owner regarding the condition of the property at the date and time of Inspection.
4. The Report is NOT a certificate of compliance that the property complies with the requirements of any Act, regulation, ordinance, local law or by-law, local council or other authorities, or as a warranty or an insurance policy against problems developing with the building in the future.
5. The Report is based on the condition of the inspected property at the date and time of Inspection. While the Inspection and Report conducted and prepared with the possible care, still some access limitation and safety hazards can limit the Inspector's ability to detect all defects. These limits and safety items are defined in the standards.
6. The Report assumes that the existing use of the building will continue. If the vendor/owner wishes to change the use of the property, a permit to be acquired from the local authorities.
7. This Report does not include the identification of unauthorised building work or work not compliant with building/council regulations. The Report does not include identification of the municipality regulations and requirements as well as identification of design defects for the construction. According to the Standards, the estimate of the costs of the rectifications is not required in this Report.
8. The construction stage Inspection Report is prepared based on the opinion and assessment of the Inspector at the date and time of the Inspection on the general condition of the inspected property. The Report will not guarantee to include all defects. The Report reflects the quality of workmanship only and will not diminish the responsibility of the builder. The building company has and will have the full responsibility of the build as specified in the law and regulations. This Inspection Report is to Client as a piece of advice and is not a mandatory stage Inspection specified in the Acts and Regulations and building permit.
9. We do not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the property located. If we hold a valid occupational license, we may inform you of this, and you may hire us to perform additional functions. Any agreement for such additional services shall be in a separate writing.

10. Checking Legal matters, building contract, design, easements, local council restrictions and requirements, crossovers, title, boundaries, connections, building envelope, planning and building permits, setbacks and zonings are out of this Inspection and Report scope of work.

11. The Report will not include defects that may only be apparent in certain weather conditions or defects that have not yet appeared due to prolonged periods of wet or dry weather or other reasons.

12. An inspector shall only inspect areas where safe and unobstructed access provided. Reasonable access is defined in AS4349.1-2007 and this Agreement. Reasonable access does not include removing stored material/goods, nails, screws, cutting or making access hole, and moving furniture.

13. We will not test for the presence of radon, a harmful gas, mould, presence of asbestos, soil contamination, or other environmental hazards or violations.

14. The Report does not identify the presence of pests, or any damage caused by pests (e.g. termites, borers, etc.) unless the Client added to the requested service.

15. The Inspection is not intended to include rigorous assessment of all building elements in a property. Any maintenance and general advice items are a helpful guide only. The Report does not necessarily include all maintenance items.

16. If you request a re-Inspection, the re-Inspection is subject to the terms of this Agreement and re-Inspection fee.

17. The Report will be based on the Inspector's assessment on major defects and safety hazards evident and visually visible on the date and time of the Inspection. The Report will also provide a general assessment of the property and collectively comment on minor defects which would form a regular part of property maintenance.

18. Limitation on Liability and Damages: We are not liable for any cost of repair or replacement of unreported defects, either current or arising in the future. In all cases, our liability is limited to liquidated damages in an amount not greater than 1.5 times the fee you paid us. You waive any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home/building. You acknowledge that these liquidated damages are not a penalty, but that we intend it to: (i) reflect the fact that actual damages may be difficult or impractical to ascertain; (ii) allocate risk between us; and (iii) enable us to perform the Inspection for the agreed-upon fee. If you wish to eliminate this liquidated damage provision, we are willing to perform the Inspection for an additional fee of \$2,000 payable in advance upon your request.

19. Our Inspection and Report are for your use only. You give us permission to discuss our observations with real estate agents, owners, builders, or other interested parties. You will be the sole owner of the Report and all rights to it. We are not responsible for the use or misinterpretation by third parties, and third parties who rely on it in any way do so at their own risk and release us (including employees and business entities) from any liability whatsoever. You are not allowed to send/show our Report and/or a quotation to our market competitors. If Owner Inspections realise that our competitor has/saw our Report belonging to you and your property, we have the right to take legal action to retrieve damages. If you or any person acting on your behalf provide the Report to a third party who then sues you and/or us, you release us from any liability and agree to pay our costs and legal fees in defending any action naming us. Our Inspection and Report are in no way a guarantee or warranty, express or

implied, regarding the future use, operability, habitability or suitability of the home/building or its components. We disclaim all warranties, express or implied, to the fullest extent allowed by law.

20. You agree that the exclusive venue for any litigation arising out of this Agreement shall be in Australia, where we have our principal place of business. If you fail to prove any claim against us, you agree to pay all our legal costs, expenses and attorneys' fees incurred in defending that claim.

21. If a court declares any provision of this Agreement invalid, the remaining provisions remain in effect. This Agreement represents our entire Agreement; there are no terms other than those set forth herein. All prior discussions are merged into this Agreement. No statement or promise by us shall be binding unless reduced to writing and signed by one of our authorised officers. Any modification of this Agreement must be in writing and signed by you and by one of our authorised officers. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. You will have no cause of action against us after one year from the date of the Inspection.

22. If a court finds any term of this Agreement ambiguous or requiring judicial interpretation, the court shall not construe that term against us because of the rule that any ambiguity in a document is construed against the party drafting it. You had the opportunity to consult qualified legal advice before accepting this Agreement.

23. You may not assign this Agreement.

24. BY BOOKING THE INSPECTIONS, YOU CONFIRM THAT YOU HAVE CAREFULLY READ THIS AGREEMENT. YOU AGREE TO IT AND ACKNOWLEDGE RECEIVING A COPY OF IT.

Purpose of Inspection

The purpose of the Inspection is to provide advice to a prospective purchaser or other interested parties regarding the condition of the property at the time of Inspection.

Conditions of Inspection

An Inspection Report may be conditional on Prevailing weather conditions or recent occupancy and use of services that might affect observations; Information provided by the Client or the agents of the Client; Deliberate concealment of defects; Any other relevant factor limiting the Inspection.

Scope of Inspection

The Inspection shall comprise visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of Inspection. Where the Client or other interested party requires only assessment of the structure of the property, the scope of the Inspection shall be limited to that described in Appendix A. An estimate of the cost of rectification of defects is not required in an Inspection report in accordance with this Standard.

Inspection Records

The Inspector shall record the following information prior to, or during the course of, the Inspection: Identity of the Inspector undertaking the Inspection; Identity of the Client; The address of the property inspected; Date of Inspection; Weather conditions

at the time of the Inspection; Limitations of Inspection with respect to the accessible area; Observation of defects.

Areas for Inspection

The Client shall arrange right of entry, facilitate physical access to the property and supply necessary information to enable the Inspector to undertake the Inspection and prepare a report. The Inspector is not responsible for arranging access to property or parts of the property. Areas where reasonable entry is denied to the Inspector, or where reasonable access is not available, are excluded and do not form part of, the Inspection.

The Inspector shall inspect accessible parts of the building and appurtenances, together with the relevant feature of the property within 30 m of the building and within the boundaries of the site, or as otherwise agreed in the Inspection Agreement. In this context, relevant features include car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth embankments, surface water drainage and stormwater run-off.

The following areas shall be inspected where applicable: The interior of the building; The roof space; The exterior of the building; The sub-floor space; The roof exterior; The property within 30 m of the building subject to Inspection.

Significant items to be reported are as follows:

- (a) Major defects.
- (b) A general impression regarding the extent of minor defects, for example, significantly deteriorating exterior paint.
- (c) Any major defect that is an urgent and serious safety hazard, for example, unsafe balustrades or imminent collapse of a structural member.

Items to be inspected where applicable:

Interior: Ceilings, Walls, Timber floors, Concrete floors, Timber or steel frames and structure, Timber windows, Metal/Aluminium framed windows, Doors and Frames, Kitchen: Benchtop, Cupboards, Sink/Taps, Tiles, Bathroom/WC/Ensuite: Cistern and pan, Bidet, Taps, Tiles, Bath, Shower, Vanity, Basins, Ventilation, Mirror; Laundry: Taps, Tubs/Cabinet, Tiles, Ventilation; stairs: Stringer, Handrail/Balusters, Treads and risers.

Exterior: Walls, Timber or steel frames and structure, Stairs, Balconies, Verandas, patios, decks, suspended concrete floors, balustrades, Roof, Skylight, Valleys, Guttering, Downpipes, Eaves, Fascia and bargeboards.

Roof Space: Roof covering, Roof framing, Sarking, Party walls, Insulation.

Subfloor Space: Timber Floor, Suspended concrete floors.

The site: Car accommodation, detached laundry, ablution facilities and garden sheds, Retaining walls, Paths and driveways, Steps, Fencing, Surface-water.

Exclusion of items from Inspection:

Footings below ground.

The operation of fireplaces, solid fuel heaters, chimneys and flues.

Electrical appliances including dishwashers, incinerators, ovens, ducted vacuum Systems, Alarm and Intercom systems, air-conditioning.

Swimming pools and associated filtration and similar equipment.

Concealed damp-proof course, plumbing, gas fitting and fixtures.

Concealed tie-downs and bracing, framing-timbers or any areas concealed by wall linings/sidings.

Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea-formaldehyde).

Soil conditions, control joints.

Sustainable development provisions, Environmental matters (e.g., BASIX, water tanks, NCC Environmental Provisions), Energy and lighting efficiency, Landscaping.

Rubbish, Stored items, furniture and accessories.

Safe and reasonable access

The extent of accessible areas shall be determined by the Inspector at the time of Inspection,

based on the conditions encountered at the time of Inspection. The Inspector shall also determine whether sufficient space is available to allow safe access. The Inspection shall include only accessible areas and areas that are within the Inspector's line of sight and close enough to enable reasonable appraisal. Reasonable access shall be determined as below:

Roof interior: minimum 400mm x 500mm access hole, 600mm x 600mm crawl space, accessible from a 3.6m ladder.

Roof exterior: Accessible from a 3.6m ladder placed on the ground.

Sub Floor Area: 400mm x 500mm access hole; 400mm x 500mm crawl space. Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.

Subfloor areas sprayed with chemicals are not to be inspected unless it is safe to do so. Areas, where reasonable entry is denied to the Inspector or where reasonable access is not available, are excluded from and do not form part of the Inspection.

Access Limitation:

The Inspector will conduct a non-invasive visual Inspection which will be limited to those accessible areas and sections of the property to which Safe and Reasonable Access is both available and permitted on the date and time of the Inspection. Areas where reasonable entry is denied to the Inspector, or where safe and reasonable access is not available, are excluded from and do not form part of, the Inspection. Those areas may be the subject of an additional Inspection upon request following the provision or reasonable entry and access.

The Inspection excludes the inside of walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, and other areas that are

concealed or obstructed. The Inspector will not dig, gouge, force or perform any other invasive procedures.

Examples of access limitations:

Legal right of entry, locked doors/windows, security systems, pets, furniture or other Obstructions, Height, narrow boundary clearances, thick vegetation, small roof or crawl space, adverse weather conditions.

The Report shall identify any area or item within the scope of the Inspection that was not inspected and the factor that prevented Inspection.

Acceptance criteria:

The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Definitions

Access hole (cover): An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an Inspection, maintenance or repair.

Accessible area: An area of the site where sufficient, safe and reasonable access is available to allow Inspection within the scope of the Inspection.

Building element: Portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

Client: The person or other entity for whom the Inspection is being carried out.

Defect: Fault or deviation from the intended condition of a material, assembly, or component.

Inspection: Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.

Inspector: Person who is responsible for carrying out the Inspection.

Limitation: Any factor that prevents full or proper Inspection of the building.

Structural defect: Fault or deviation from the intended structural performance of a building element.

Structural element: Physically distinguishable part of a structure; for example, wall, columns, beam, connection.

Subfloor space: Space between the underside of a suspended floor and the ground.

Roof space: Space between the roof covering and the ceiling immediately below the roof covering.

Site: Allotment of land on which a building stands or is to be erected.

Defect Categories:

Visually Fine (F): Item inspected and is visually fine.

General Advice (G): A general advice item is neither defect nor fine. It is only a recommendation/advice/description by Inspector.

Defect (D): Fault or deviation from the intended condition of a material, assembly, or component. Repair is recommended on Defect items.

Major Defect (M): A defect which can cause further severe damage (structural or non-structural) to the property or make it unsafe. The rectification must carry out ASAP to avoid damages/injuries.

Unable to Inspect (U): An area where the Inspector could not inspect at the time of Inspection due to one or more safe/reasonable access limitations.

Not Applicable (N): An item which is not applicable to the area of the Inspection.

SUMMARY

46

GENERAL
ADVICE/MAINTENANCE
ITEM

69

REPAIR RECOMMENDED

4

MAJOR STRUCTURAL
DEFECT/SAFETY HAZARD

2.1.1 + Inspection Summary - + Inspector's Comment: + Rectifications required prior to Tiling and Painting

-

3.1.1 + Termite Management - + Termite management: * installed but no information provided on it



4.1.1 + House External - + Fire Safety: + Property Within 900mm of the boundary



4.2.1 + House External - + Eaves: + Caulking/Filling required



4.2.2 + House External - + Eaves: + Painting Touch-up Required



4.2.3 + House External - + Eaves: * poor joint setting



4.2.4 + House External - + Eaves: * Cracked



4.3.1 + House External - + External Doors: + Not Painted



4.3.2 + House External - + External Doors: + Infill/Caulking to door head and sides



4.3.3 + House External - + External Doors: + Clean sliding door tracks



4.3.4 + House External - + External Doors: + Door glass Broken/Cracked



4.4.1 + House External - + Windows: + Infills Incomplete



4.4.2 + House External - + Windows: + Cracked/Broken Glass



4.4.3 + House External - + Windows: + Adjust window rubber flashing



5.1.1 + Roof Cladding (External) - + Roof Cladding (Tile and Shingles): + Reposition Roof Tile



5.1.2 + Roof Cladding (External) - + Roof Cladding (Tile and Shingles): + Broken/Cracked Roof Tiles



5.1.3 + Roof Cladding (External) - + Roof Cladding (Tile and Shingles): + Broken tile underlap



5.1.4 + Roof Cladding (External) - + Roof Cladding (Tile and Shingles): + Overhang of Roof Tiles 35mm-65mm



5.1.5 + Roof Cladding (External) - + Roof Cladding (Tile and Shingles): + Cut sisalation



5.1.6 + Roof Cladding (External) - + Roof Cladding (Tile and Shingles): + unable to inspect due to height



5.2.1 + Roof Cladding (External) - + Roof Cladding (Metal sheet Roofing): Debris on the metal roof



5.2.2 + Roof Cladding (External) - + Roof Cladding (Metal sheet Roofing): not straight



5.2.3 + Roof Cladding (External) - + Roof Cladding (Metal sheet Roofing): Additional fixing required



6.1.1 + Roof Drainage System - + Fascia: + Appears Fine - From The Ground



6.2.1 + Roof Drainage System - + Gutters: + Debris to be removed



6.3.1 + Roof Drainage System - + Rainheads: * Visually fine

- (-) 6.4.1 + Roof Drainage System - + Downpipes: + Not secured
- (+) 6.5.1 + Roof Drainage System - + Downpipe spreaders: + Visually fine
- (-) 6.6.1 + Roof Drainage System - + Flashings: + Incomplete
- (-) 6.6.2 + Roof Drainage System - + Flashings: + Seal flashing against wall/cladding
- (A) 6.8.1 + Roof Drainage System - * Airconditioner drainage: * drainage to the site
- (-) 7.1.1 + External Wall/Cladding - + Brickworks: + Incomplete
- (-) 7.1.2 + External Wall/Cladding - + Brickworks: + Additional Brickwork Cleaning Required
- (-) 7.1.3 + External Wall/Cladding - + Brickworks: * Cut the flashing
- (+) 7.2.1 + External Wall/Cladding - Render: Final render coat
- (-) 7.2.2 + External Wall/Cladding - Render: Render defects
- (+) 7.4.1 + External Wall/Cladding - + Expansion Joints: + Sealant Required
- (-) 7.5.1 + External Wall/Cladding - + Joints/Infills/Caulking: + Wall infills
- (-) 7.5.2 + External Wall/Cladding - + Joints/Infills/Caulking: + Caulk around meterbox
- (-) 7.7.1 + External Wall/Cladding - + Mortar: + Blown out or damaged
- (-) 7.7.2 + External Wall/Cladding - + Mortar: + Poor workmanship
- (-) 7.9.1 + External Wall/Cladding - + Weep holes: + Screen (vent) required
- (-) 7.10.1 + External Wall/Cladding - * External painting: Damaged LVL
- (-) 8.1.1 + Slab Finish - + Slab Edges (External): + Slab Trimming required - passing the cladding
- (+) 8.2.1 + Slab Finish - + Slab Surface Finish (House Internal): + Slab Level - Within Tolerance
- (-) 8.2.2 + Slab Finish - + Slab Surface Finish (House Internal): + Slab Level - Exceeds The Tolerance
- (-) 9.1.1 + Site Drainage - + Site Grading: + Grading Is Required
- (-) 9.2.1 + Site Drainage - + Stormwater Drainage System (Underground): + Exposed Pipe - Insufficient cover
- (-) 9.2.2 + Site Drainage - + Stormwater Drainage System (Underground): + Uncapped Pipe
- (-) 9.2.3 + Site Drainage - + Stormwater Drainage System (Underground): + Blocked/Broken Pipe
- (A) 9.2.4 + Site Drainage - + Stormwater Drainage System (Underground): + Stormwater pipe not found
- (+) 10.1.1 + Garage/Carport - + General: + General Views
- (+) 10.2.1 + Garage/Carport - + Slab Surface: + Unable to fully inspect due to stored material
- (-) 10.4.1 + Garage/Carport - + Walls: + Plaster is Damaged
- (-) 10.4.2 + Garage/Carport - + Walls: * Caulking required
- (-) 10.5.1 + Garage/Carport - + Ceiling: + Patching required
- (+) 11.1.1 + Balcony 2 - General: + General View
- (-) 11.2.1 + Balcony 2 - + Balustrades/Handrails: + Not installed
- (+) 12.1.1 + Balcony - General: + General View
- (A) 12.2.1 + Balcony - + Waterproofing: + Incomplete
- (-) 12.4.1 + Balcony - + Balustrades/Handrails: + Not installed
- (+) 13.1.1 + Kitchen - + General: + General views
- (+) 13.4.1 + Kitchen - + Floors: Not Installed yet
- (-) 13.5.1 + Kitchen - + Skirtings: + Incomplete
- (-) 13.6.1 + Kitchen - + Walls: + Plaster Incomplete
- (-) 13.6.2 + Kitchen - + Walls: + Plaster is Damaged
- (-) 13.6.3 + Kitchen - + Walls: + Poor Plaster Patching - Joints/Corners/Edges
- (-) 13.7.1 + Kitchen - + Ceilings: + Minor Damage

- ⌚ 13.8.1 + Kitchen - + Cabinets: + Adjustment Required
- ⌚ 13.8.2 + Kitchen - + Cabinets: * laminate damaged
- ⌚ 13.9.1 + Kitchen - + Benchtops: + Visually fine
- ⌚ 13.10.1 + Kitchen - + Splashback: + Not installed
- ⌚ 14.1.1 + Laundry - + General: + General view
- ⌚ 14.2.1 + Laundry - + Floors: Not Installed yet
- ⌚ 14.5.1 + Laundry - + Doors: + Not Installed - Hardware
- ⌚ 14.7.1 + Laundry - + Waterproofing: + General views
- ⌚ 14.7.2 + Laundry - + Waterproofing: + Additional coat required
- ⌚ 14.8.1 + Laundry - + Cabinet/Benchtop: + Appears fine
- ⌚ 15.1.1 + Stairs (Internal) - + Stairs: + General Views
- ⌚ 15.1.2 + Stairs (Internal) - + Stairs: + Preparation for painting
- ⌚ 15.2.1 + Stairs (Internal) - + Balustrade: + Not Installed
- ⌚ 15.2.2 + Stairs (Internal) - + Balustrade: + Rough surface on handrails
- ⌚ 16.1.1 + Living Room - + General: + General view
- ⌚ 16.2.1 + Living Room - + Floors: Not Installed yet
- ⌚ 16.4.1 + Living Room - + Walls: + Plaster Incomplete
- ⌚ 16.4.2 + Living Room - + Walls: + Poor Plaster Patching - Joints/Corners/Edges
- ⌚ 16.8.1 + Living Room - + Switches: Switches location
- ⌚ 17.1.1 + Master Bedroom - + General: + General view
- ⌚ 18.1.1 + Ensuite - + General: + General view
- ⌚ 18.5.1 + Ensuite - + Doors: + Not installed - Door Leaves
- ⌚ 18.8.1 + Ensuite - + Bath: + Not installed
- ⌚ 18.9.1 + Ensuite - + Waterproofing: + General views
- ⌚ 18.9.2 + Ensuite - + Waterproofing: + Additional coat required
- ⌚ 18.10.1 + Ensuite - + Vanity/Benchtop: Adjustment required
- ⌚ 19.1.1 + Bedroom 2 - + General: + General view
- ⌚ 20.1.1 + Bedroom 3 - + General: + General view
- ⌚ 21.1.1 + Bedroom 4 - + General: + General view
- ⌚ 21.2.1 + Bedroom 4 - + Floors: * Damaged floor
- ⌚ 22.1.1 + Add. Ensuite - + General: + General view
- ⌚ 22.5.1 + Add. Ensuite - + Doors: + Not installed - Architraves
- ⌚ 22.9.1 + Add. Ensuite - + Waterproofing: + General views
- ⌚ 22.9.2 + Add. Ensuite - + Waterproofing: + Additional coat required
- ⌚ 23.1.1 + Powder Room - + General: + General view
- ⌚ 23.5.1 + Powder Room - + Doors: + Not Installed - Hardware
- ⌚ 23.9.1 + Powder Room - + Waterproofing: + General views
- ⌚ 23.10.1 + Powder Room - + Vanity/Benchtop: + Benchtop Not Installed
- ⌚ 24.1.1 + Ensuite 2 - + General: + General view
- ⌚ 24.5.1 + Ensuite 2 - + Doors: + Not installed - Door Leaves
- ⌚ 24.9.1 + Ensuite 2 - + Waterproofing: + General views
- ⌚ 24.10.1 + Ensuite 2 - + Vanity/Benchtop: + Vanity Not Installed

- Key 25.1.1 + Added Master - + General: + General view
- Key 26.1.1 + Ensuite 3 - + General: + General view
- OK 26.5.1 + Ensuite 3 - + Doors: Clen marks
- Key 26.9.1 + Ensuite 3 - + Waterproofing: + General views
- Key 27.1.1 + Ensuite 4 - + General: + General view
- OK 27.10.1 + Ensuite 4 - + Vanity/Benchtop: + Vanity Not Installed
- Key 28.1.1 + Guest room - + General: + General view
- OK 28.4.1 + Guest room - + Walls: + Bowed or Not Straight wall
- OK 28.4.2 + Guest room - + Walls: + Plaster is Damaged

1: + INSPECTION DETAILS

		F	G	D	M	U	N
1.1	+ General Conditions		X				
1.2	+ Limitations/Restrictions		X				

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Information

+ General Conditions: In Attendance
Client, Builder, Trades

+ General Conditions: Weather Conditions
Clear

+ General Conditions: Building Type
Residential

+ General Conditions: Levels
Double Storey

+ General Conditions: Roof
Tiled, Metal

+ General Conditions: External Cladding
Brick Veneer, Render

+ General Conditions: Windows
Aluminium

+ General Conditions: Piers
Render

+ General Conditions: Flooring
Slab, Timber

+ General Conditions: Bedrooms
6

+ General Conditions: Bathrooms/Ensuits
5

+ General Conditions: Building Age
New Build

Limitations

+ Limitations/Restrictions

REASONABLE ACCESS TO THE PROPERTY WAS RESTRICTED BY:

Brickwork, Stored Material, Height, Boundary

2: + INSPECTION SUMMARY

		F	G	D	M	U	N
2.1	+ Inspector's Comment			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

2.1.1 + Inspector's Comment

+ RECTIFICATIONS REQUIRED PRIOR TO TILING AND PAINTING



Repair Recommended

Some defects found during the inspection; hence the tiling and painting can not be done before fixing the defects.

Builder is responsible for providing the rectifications proof (photo, video, meeting client on-site, etc.).

A re-inspection booking may be required (upon client's request) to approve the rectifications.

To see the found defects, please refer to the full report.

Recommendation

Contact a qualified professional.

3: + TERMITE MANAGEMENT

		F	G	D	M	U	N
3.1	+ Termite management			X			

F = Visually Fine

G = General Advice

D = Defect

M = Major Defect

U = Unable to Inspect

N = Not Applicable

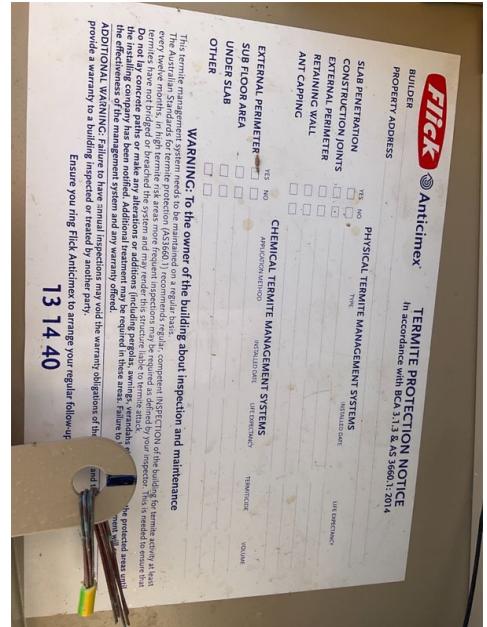
Observations

3.1.1 + Termite management

* INSTALLED BUT NO INFORMATION PROVIDED ON IT

Recommendation

Contact a qualified professional.



4: + HOUSE EXTERNAL

		F	G	D	M	U	N
4.1	+ Fire Safety		X				
4.2	+ Eaves				X		
4.3	+ External Doors				X		
4.4	+ Windows				X		
4.5	+ Stairs						X
4.6	+ Balustrades/Handrails						X
4.7	+ Retaining Walls						X

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

4.1.1 + Fire Safety

+ PROPERTY WITHIN 900MM OF THE BOUNDARY

Property is located within 900mm of the boundary. Builder is fully responsible to ensure Non-combustible materials are used in sections located within 900mm of the boundary.

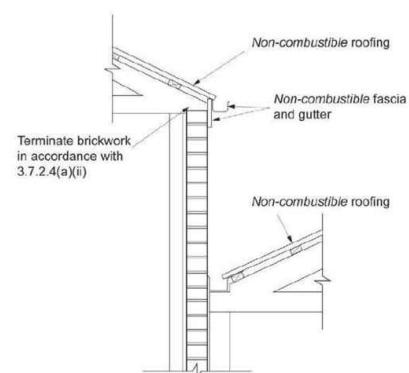
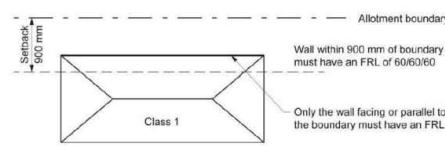
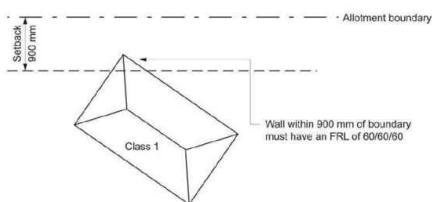


General Advice/Maintenance Item

National Construction Codes (NCC) - Figure 3.7.2.3 Typical construction of external walls.

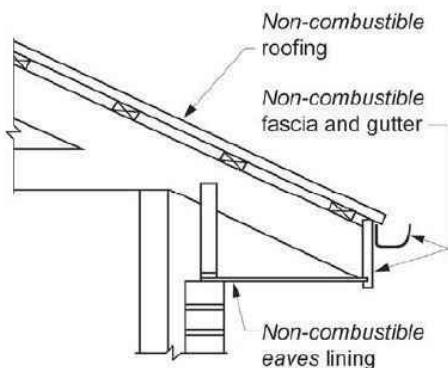
Recommendation

Contact a qualified professional.



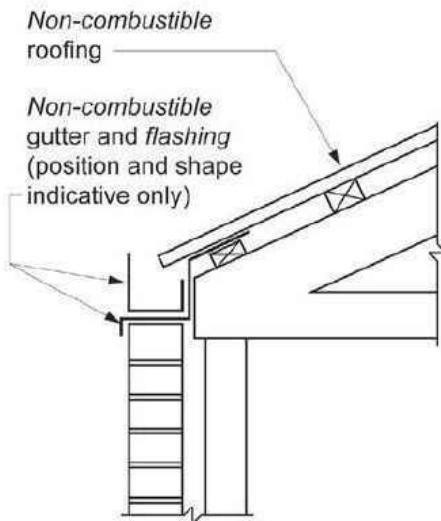
(e) Attached Class 1 buildings on the same allotment

Figure 3.7.2.3 (e)



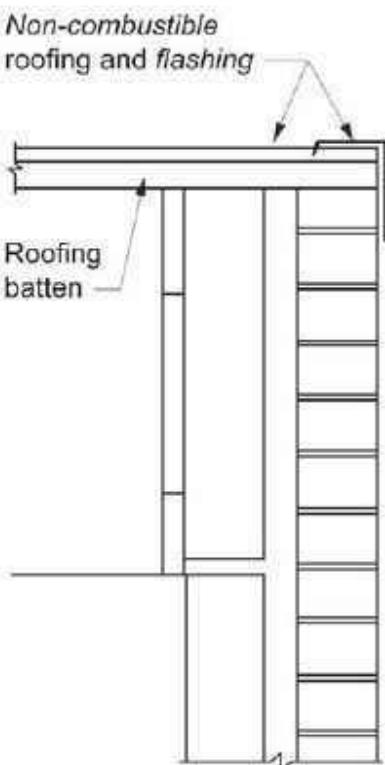
(d) Eaves construction

Figure 3.7.2.3 (d)



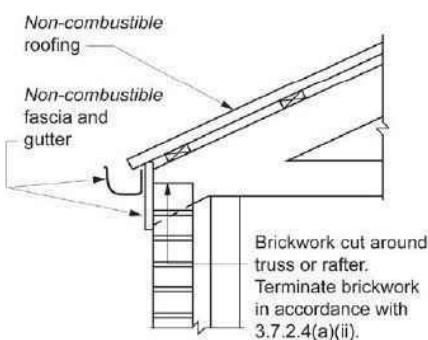
(c) Gutter on top of wall

Figure 3.7.2.3 (c)



(a) Gable construction

Figure 3.7.2.3 (a)



(b) Gutter on face of wall

Figure 3.7.2.3 (b)



4.2.1 + Eaves

+ CAULKING/FILLING REQUIRED

One or more section(s) of eave require caulking or filling.

Recommendation

Contact a qualified professional.



Repair Recommended

4.2.2 + Eaves

+ PAINTING TOUCH-UP REQUIRED

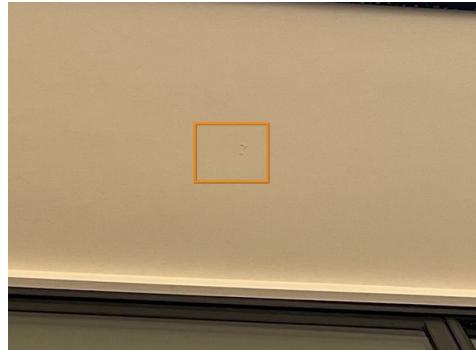
Eave linings painted, however, touch-up is required in some places.

Recommendation

Contact a qualified professional.



Repair Recommended



1st Floor Left



1st Floor Left

4.2.3 + Eaves

*** POOR JOINT SETTING**

The joint between the eaves and cladding set up with poor workmanship quality.

Recommendation

Contact a qualified professional.



Repair Recommended



4.2.4 + Eaves

*** CRACKED**

Recommendation

Contact a qualified professional.



Repair Recommended



Balcony

4.3.1 + External Doors

+ NOT PAINTED

External door(s) are installed, but not painted yet.

External timber doors and windows have a time limit of being unprotected and exposed to the weather since delivery to the site. Recommending painting as soon as possible, alternatively, apply primer to protect the timber until painting applied. Builder to check the manufacturer's instructions.

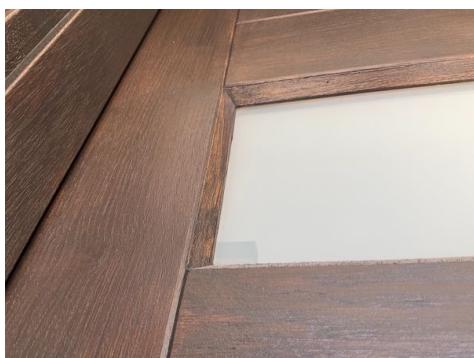
the door has painted, however the final coat yet to be applied.



General Advice/Maintenance Item

Recommendation

Contact a qualified professional.



4.3.2 + External Doors

+ INFILL/CAULKING TO DOOR HEAD AND SIDES

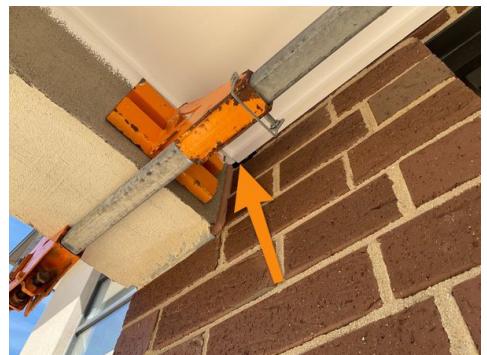


Repair Recommended

Infill or caulking (depending on the gap size) to be installed/applied to sections of doors where the gap is exceeding the tolerance. It will be re-assessed in the next stage inspection.

Recommendation

Contact a qualified professional.



Porch



4.3.3 + External Doors

+ CLEAN SLIDING DOOR TRACKS

The sliding door tracks to be cleaned to prevent the door rollers damage and door improper operation.

Recommendation

Contact a qualified professional.



Repair Recommended



4.3.4 + External Doors

+ DOOR GLASS BROKEN/CRACKED

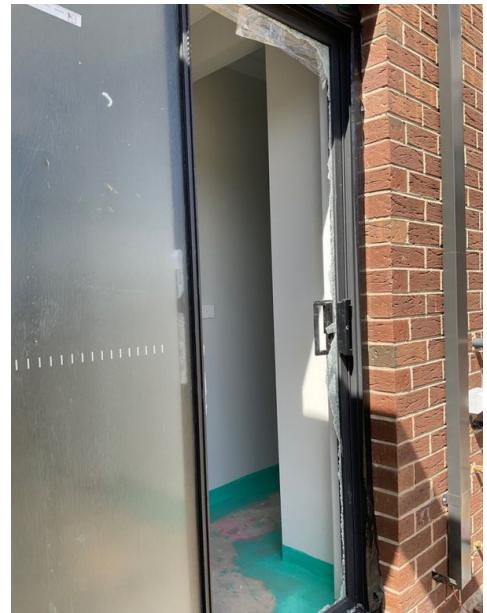
Door glass is broken or cracked and needs replacement.



Repair Recommended

Recommendation

Contact a qualified professional.



Laundry

4.4.1 + Windows

+ INFILLS INCOMPLETE

 Repair Recommended

Window head/sides infills were incomplete at the time of inspection. All windows.

Recommendation

Contact a qualified professional.



Left



4.4.2 + Windows

+ CRACKED/BROKEN GLASS

 Repair Recommended

Window glass(es) is cracked/broken and needs replacement.

Recommendation

Contact a qualified professional.



Rear



Rear

4.4.3 + Windows

+ ADJUST WINDOW RUBBER FLASHING

Repair Recommended

Window rubber flashings to be adjusted so that they sit properly between the window and cladding and preventing rainwater from entering the building.

Photos are showing only few of them. Builder to check and fix all window flashings.

Recommendation

Contact a qualified professional.



Right

5: + ROOF CLADDING (EXTERNAL)

		F	G	D	M	U	N
5.1	+ Roof Cladding (Tile and Shingles)			X			
5.2	+ Roof Cladding (Metal sheet Roofing)			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Limitations

+ Roof Cladding (Tile and Shingles)

+ ROOF CLADDING INSPECTION WAS RESTRICTED BY:

Height



Observations

5.1.1 + Roof Cladding (Tile and Shingles)

+ REPOSITION ROOF TILE

One or more roof tiles are not sitting in the correct position and need repositioning to prevent tile slippage and water leakage.

Recommendation

Contact a qualified professional.



Repair Recommended



Garage Left



Garage Rear

5.1.2 + Roof Cladding (Tile and Shingles)



Major Structural Defect/Safety Hazard

+ BROKEN/CRACKED ROOF TILES

One or more roof tiles are broken or cracked and need replacement to prevent the property from water damage.

Recommendation

Contact a qualified professional.



5.1.3 + Roof Cladding (Tile and Shingles)



Repair Recommended

+ BROKEN TILE UNDERLAP

One or more roof tiles underlap are broken. Such tiles must be replaced to ensure the building will remain watertight during heavy rains and storms.

Recommendation

Contact a qualified professional.



5.1.4 + Roof Cladding (Tile and Shingles)



Repair Recommended

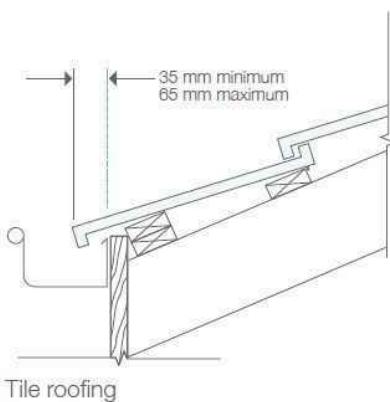
+ OVERHANG OF ROOF TILES 35MM-65MM

Tiled roofing is defective if tiles overhang the inside face of a gutter by less than 35 mm or by more than 65 mm.

GUIDE TO STANDARDS AND TOLERANCES - 6.05

Recommendation

Contact a qualified professional.



5.1.5 + Roof Cladding (Tile and Shingles)

+ CUT SISALATION

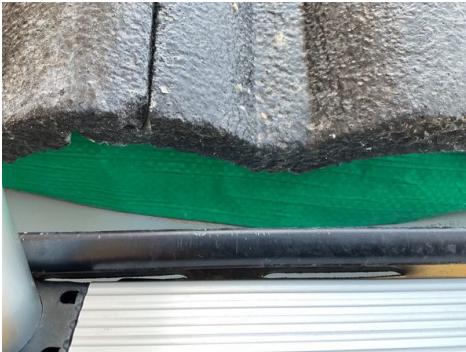
Cut the sarking where it passes the external edge of the roof cladding.

Recommendation

Contact a qualified professional.



Repair Recommended



5.1.6 + Roof Cladding (Tile and Shingles)

+ UNABLE TO INSPECT DUE TO HEIGHT

One all all parts of roof could not be inspected due to height

Recommendation

Contact a qualified professional.



Repair Recommended



5.2.1 + Roof Cladding (Metal sheet Roofing)

DEBRIS ON THE METAL ROOF

There is one or more debris on the roof which need to be removed. The roof cladding should be out of any dirt, debris, mortar, excessive dust, marks, etc. at the time of handover. This will be reassessed in the PCI inspection.

Recommendation

Contact a qualified professional.



Repair Recommended



Right

5.2.2 + Roof Cladding (Metal sheet Roofing)

NOT STRAIGHT

Sections of roof cladding are not straight and/or level

Recommendation

Contact a qualified professional.



Repair Recommended



5.2.3 + Roof Cladding (Metal sheet Roofing)

ADDITIONAL FIXING REQUIRED

Recommendation

Contact a qualified professional.



Repair Recommended



Right

6: + ROOF DRAINAGE SYSTEM

		F	G	D	M	U	N
6.1	+ Fascia		X				
6.2	+ Gutters			X			
6.3	+ Rainheads		X				
6.4	+ Downpipes			X			
6.5	+ Downpipe spreaders		X				
6.6	+ Flashings			X			
6.7	+ Parapet Walls Capping						X
6.8	* Airconditioner drainage					X	

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

6.1.1 + Fascia



General Advice/Maintenance Item

+ APPEARS FINE - FROM THE GROUND

Fascia appears fine when looking from the ground.

Recommendation

Contact a qualified professional.



6.2.1 + Gutters



Repair Recommended

+ DEBRIS TO BE REMOVED

Many debris found in gutters around the dwelling. All debris to be removed from gutters as soon as possible to prevent them from entering the downpipes and causing water damage.

Recommendation

Contact a qualified professional.



6.3.1 + Rainheads

*** VISUALLY FINE**

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item

6.4.1 + Downpipes

+ NOT SECURED

One or more downpipes are not secured to the cladding and need proper fixing.

Recommendation

Contact a qualified professional.



Repair Recommended



6.5.1 + Downpipe spreaders

+ VISUALLY FINE

Spreads are installed and are visually fine.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



6.6.1 + Flashings

+ INCOMPLETE

One or more roof cladding/penetration flashing(s) were not installed at the time of the inspection. The flashings are required to ensure the building is watertight and plasters would not be damaged. Flashings would be inspected in the next stage inspection if accessible.

Recommendation

Contact a qualified professional.



Repair Recommended



Garage Front

6.6.2 + Flashings

+ SEAL FLASHING AGAINST WALL/CLADDING

Flashings sitting on the face of wall/cladding must be sealed to prevent water leak.



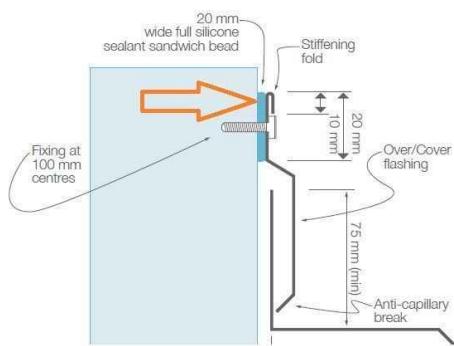
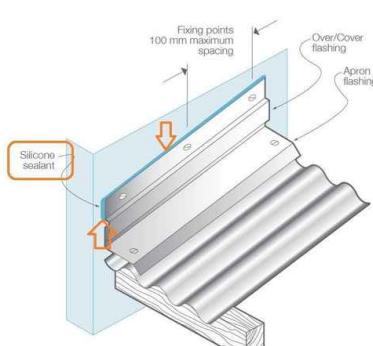
Repair Recommended

GUIDE TO STANDARDS AND TOLERANCES - 7.06

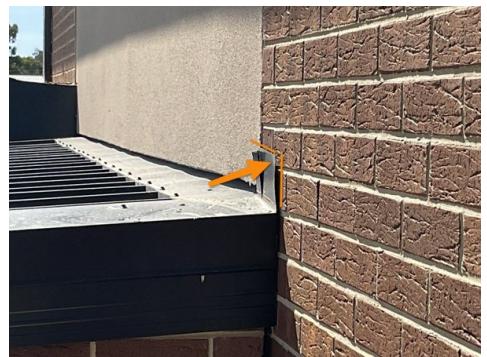
Pressure flashings are defective if they are not fixed on appropriate surfaces, or are not fixed in accordance with Diagram 7.06(C).

Recommendation

Contact a qualified professional.



Garage Rear



Right

Right

6.8.1 * Airconditioner drainage

*** DRAINAGE TO THE SITE**

The air conditioner drainage drains to the site surface. All drainages must drain to the stormwater system. This drain pipe need to drain to the gutter. Fascia needs to be replaced/fixed. Dropping water from the air conditioner during summer imposes the risk of termite attack to the building.

Recommendation

Contact a qualified professional.



Major Structural Defect/Safety Hazard



Left

7: + EXTERNAL WALL/CLADDING

		F	G	D	M	U	N
7.1	+ Brickworks			X			
7.2	Render			X			
7.3	Hebel						X
7.4	+ Expansion Joints			X			
7.5	+ Joints/Infills/Caulking				X		
7.6	+ Window Sills	X					
7.7	+ Mortar			X			
7.8	Sarking					X	
7.9	+ Weep holes			X			
7.10	* External painting			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Limitations

Sarking

SARKING

At the time of inspection unable to inspect due to external wall cladding. (Brickwork/Hebel, Weatherboard, Render).

Observations

7.1.1 + Brickworks

+ INCOMPLETE

The building of external wall/cladding has not completed yet. All cladding must be installed ASAP to prevent water damage to plasters. (The cladding supposed to be in the previous stage (Lock-up)).



Repair Recommended



Balcony

DOMESTIC BUILDING CONTRACTS ACT 1995 - SECT 40

"lock-up stage" means the stage when a home's external wall cladding and roof covering is fixed, the flooring is laid and external doors and external windows are fixed (even if those doors or windows are only temporary).

Recommendation

Contact a qualified professional.

7.1.2 + Brickworks

+ ADDITIONAL BRICKWORK CLEANING REQUIRED



Repair Recommended

One or more areas of brickwork require further cleaning to be completed to remove all excess mortar or marks from the face of bricks.

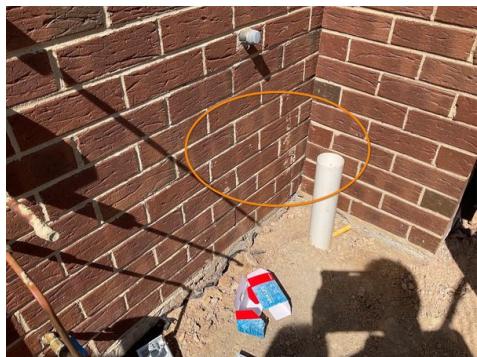
Guide to Standard And Tolerances

3.07: Unless documented otherwise, masonry faces are defective if they are not cleaned and free of excess mortar.

3.11: Stains, mortar smears and damage caused by cleaning are defective if they are visible from a normal viewing position.

Recommendation

Contact a qualified professional.



Right



Left

7.1.3 + Brickworks

*** CUT THE FLASHING**

Cut the exposed flashing

Recommendation

Contact a qualified professional.

 Repair Recommended



1st Floor Left

7.2.1 Render

FINAL RENDER COAT

Final render texture coat yet to be applied on rendered sections of dwelling.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



7.2.2 Render

RENDER DEFECTS



Repair Recommended

Render has low quality/poor joints. It will be inspected in the fixing stage after defects been rectified and final texture coat applied.

Recommendation

Contact a qualified professional.



Garage Front



Left

7.4.1 + Expansion Joints

+ SEALANT REQUIRED



General Advice/Maintenance Item

Expansion joints to be sealed with mastic sealant to prevent water from entering the building.

All mortar/debris to be removed from the expansion joints prior to applying the sealant.

Recommendation

Contact a qualified professional.



7.5.1 + Joints/Infills/Caulking

+ WALL INFILLS

Infill required to sides and above windows and doors.

Recommendation

Contact a qualified professional.



Repair Recommended



Alfresco

7.5.2 + Joints/Infills/Caulking

+ CAULK AROUND METERBOX

Around the metre box to be caulked.

Recommendation

Contact a qualified professional.

 Repair Recommended

7.7.1 + Mortar

+ BLOWN OUT OR DAMAGED

One or more areas of mortar are blown out or damaged and needs to be filled with the same colour mortar.

Guide to Standard And Tolerances - 3.09

Voids and holes in mortar in masonry walls, with the exception of weep holes and vents, are defective if they are visible from a normal viewing position.

Recommendation

Contact a qualified professional.

 Repair Recommended

Left

7.7.2 + Mortar

+ POOR WORKMANSHIP

Poor workmanship in mortars noted.

Recommendation

Contact a qualified professional.

 Repair Recommended

Alfresco

7.9.1 + Weep holes

+ SCREEN (VENT) REQUIRED

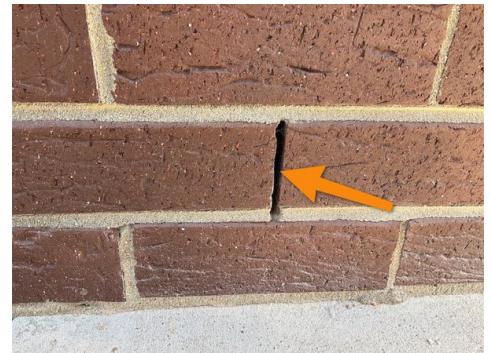
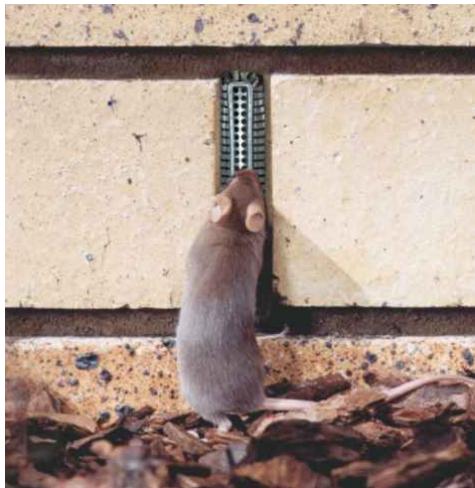
It is recommended to install weep hole screen (vent) to prevent vermin protection entering the building.

Weep Hole Screen is a protector designed to prevent mice, spiders, cockroaches, wasps, bees, snakes and other pests from entering the building through the weep holes.

 Repair Recommended

Recommendation

Contact a qualified professional.



7.10.1 * External painting

DAMAGED LVL

The alfresco LVL is damaged. Fill and patch it properly to prevent rainwater penetration and corrosion.

Recommendation

Contact a qualified professional.

 Repair Recommended



Alfresco

8: + SLAB FINISH

		F	G	D	M	U	N
8.1	+ Slab Edges (External)			X			
8.2	+ Slab Surface Finish (House Internal)			X			

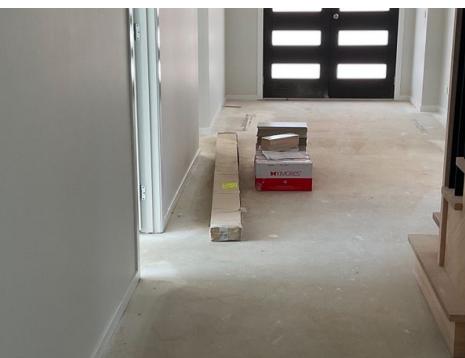
F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Limitations

+ Slab Surface Finish (House Internal)

+ SLAB SURFACE INSPECTION WAS RESTRICTED BY:

Stored Material



Observations

8.1.1 + Slab Edges (External)



Repair Recommended

+ SLAB TRIMMING REQUIRED - PASSING THE CLADDING

The concrete slab is out of the brickwork or other claddings. Trimming required to so that the slab is flush with the face of the cladding. Builder to ensure the reinforcement concrete cover maintains, otherwise the application of proper rod protection required.

Recommendation

Contact a qualified professional.



Left

8.2.1 + Slab Surface Finish (House Internal)



General Advice/Maintenance Item

+ SLAB LEVEL - WITHIN TOLERANCE

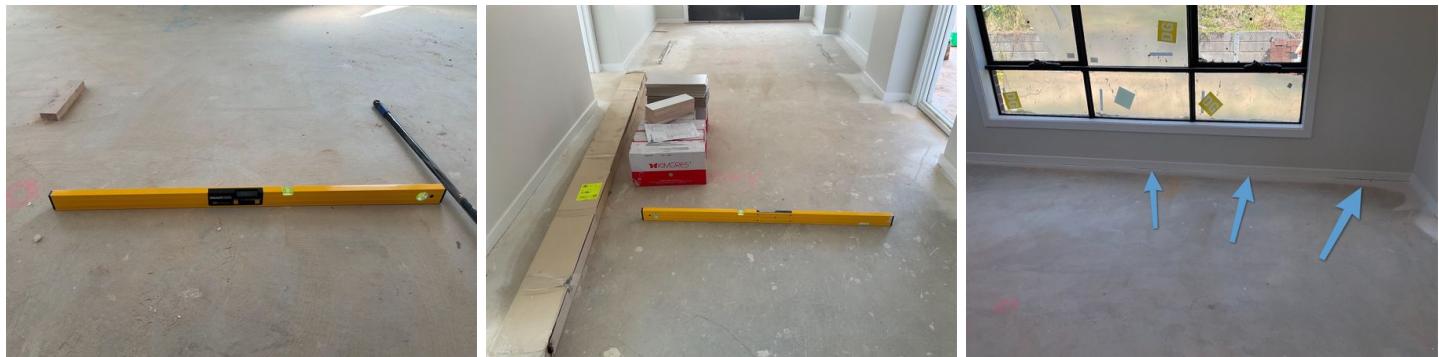
The slab level appears to be within the tolerance limits of 10mm in every room or 4mm on every 2m length.

Guide to Standards And Tolerances - 2.08 Levelness of concrete floors:

Except where documented otherwise, new floors are defective if within the first 24 months of handover they differ in level by more than 10 mm in any room or area, or more than 4 mm in any 2 m length. The overall deviation of floor level to the entire building footprint shall not exceed 20 mm.

Recommendation

Contact a qualified professional.



8.2.2 + Slab Surface Finish (House Internal)

+ SLAB LEVEL - EXCEEDS THE TOLERANCE

The slab level has more deviation than allowed within the tolerance limits. (10mm in every room or 4mm in every 2m length). Builder to rectify the defect before proceeding to the next stage to ensure the level is within the tolerance.

Guide to Standards And Tolerances - 2.08 Levelness of concrete floors

Except where documented otherwise, new floors are defective if within the first 24 months of handover they differ in level by more than 10 mm in any room or area, or more than 4 mm in any 2 m length. The overall deviation of floor level to the entire building footprint shall not exceed 20 mm.

Recommendation

Contact a qualified professional.



Theatre

9: + SITE DRAINAGE

		F	G	D	M	U	N
9.1	+ Site Grading			X			
9.2	+ Stormwater Drainage System (Underground)						

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

9.1.1 + Site Grading

+ GRADING IS REQUIRED

Grading has not been done yet. It has to be done according to the standards to keep the rainwater away from the slab.



Repair Recommended

National Construction Codes (NCC) - 3.1.3.3 Surface water drainage Slab-on-ground — finished ground level adjacent to buildings:

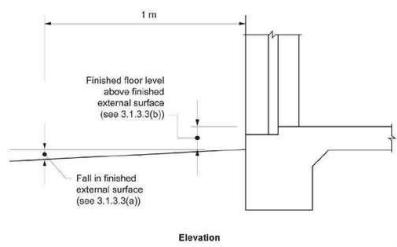
The external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than

- (i) 25 mm over the first 1 m from the building in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); OR
- (ii) 50 mm over the first 1 m from the building in any other case.

Recommendation

Contact a qualified professional.

Figure 3.1.3.2 Site surface drainage



9.2.1 + Stormwater Drainage System (Underground)

+ EXPOSED PIPE - INSUFFICIENT COVER

Sections of external Stormwater or water pipes are exposed and not covered in the ground. All underground pipes must be covered to prevent them from any possible damages.



Repair Recommended

Recommendation

Contact a qualified professional.



Right

9.2.2 + Stormwater Drainage System (Underground)

+ UNCAPPED PIPE

Stormwater pipe(s) are not capped which can cause future water blockage by entered construction work materials and debris.

Soil and concrete exist in the stormwater pipes. Builder to remove them before capping.

Recommendation

Contact a qualified professional.



9.2.3 + Stormwater Drainage System (Underground)

+ BLOCKED/BROKEN PIPE

Stormwater pipe(s) noted broken/blocked. Builder to rectify the defect. Camera inspection recommended ensuring all debris and blocking material are taken away from the drainage system.

Recommendation

Contact a qualified professional.



Alfresco



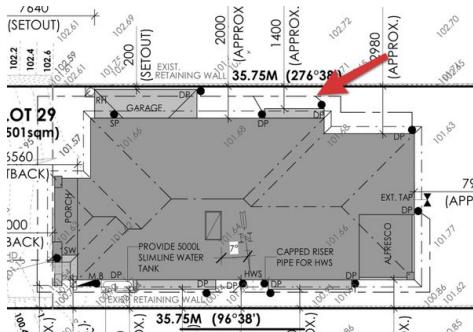
9.2.4 + Stormwater Drainage System (Underground)

+ STORMWATER PIPE NOT FOUND

One or more stormwater pipe not found at the time of inspection. Builder to investigate and make sure the stormwater pipe is installed in the right place according to the plans.

Recommendation

Contact a qualified professional.



 Major Structural Defect/Safety Hazard

10: + GARAGE/CARPORT

		F	G	D	M	U	N
10.1	+ General		X				
10.2	+ Slab Surface		X				
10.3	+ Skirtings	X					
10.4	+ Walls			X			
10.5	+ Ceiling			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Limitations

+ Slab Surface

+ SLAB SURFACE INSPECTION WAS RESTRICTED BY:

Stored Material



Observations

10.1.1 + General

+ GENERAL VIEWS

+ General views of the Garage at the time of inspection

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



10.2.1 + Slab Surface

+ UNABLE TO FULLY INSPECT DUE TO STORED MATERIAL



General Advice/Maintenance Item

Unable to inspect the slab due to stored material on the slab. Where is visible looks fine.

Recommendation

Contact a qualified professional.



10.4.1 + Walls

+ PLASTER IS DAMAGED

 Repair Recommended

Plaster is damaged in a few areas and needs proper patching and sanding prior to painting.

Recommendation

Contact a qualified professional.



10.4.2 + Walls

*** CAULKING REQUIRED**

 Repair Recommended

Recommendation

Contact a qualified professional.



10.5.1 + Ceiling

+ PATCHING REQUIRED

Patching required in one or more area(s).

Recommendation

Contact a qualified professional.



Repair Recommended



11: + BALCONY 2

		F	G	D	M	U	N
11.1	General		X				
11.2	+ Balustrades/Handrails				X		

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

11.1.1 General

+ GENERAL VIEW



General Advice/Maintenance Item

General views of the balcony at the time of inspection.

Recommendation

Contact a qualified professional.



11.2.1 + Balustrades/Handrails

+ NOT INSTALLED



Repair Recommended

Balcony handrails were not installed at the time of inspection.

Recommendation

Contact a qualified professional.



12: + BALCONY

		F	G	D	M	U	N
12.1	General		X				
12.2	+ Waterproofing					X	
12.3	+ Drainage	X					
12.4	+ Balustrades/Handrails			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

12.1.1 General

+ GENERAL VIEW

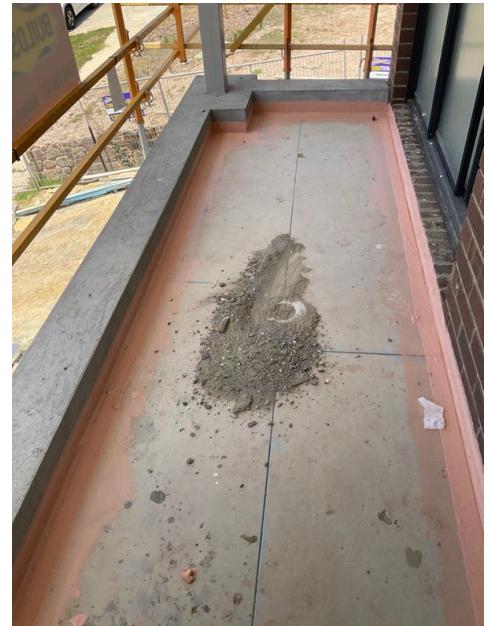


General Advice/Maintenance Item

General views of the balcony at the time of inspection.

Recommendation

Contact a qualified professional.



12.2.1 + Waterproofing

+ INCOMPLETE



Major Structural Defect/Safety Hazard

Balcony waterproofing was incomplete at the time of inspection.

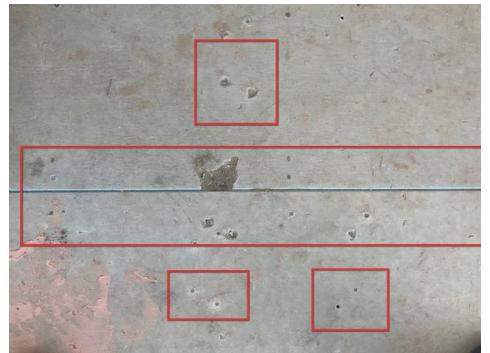
GUIDE TO STANDARDS AND TOLERANCES 13.05

Waterproof decks and balconies are defective if they are not constructed in accordance with the Building Code of Australia and AS 4654.2.

Waterproof decks and balconies are defective if the waterproofing system is not installed in accordance with the manufacturer's installation requirements.

Recommendation

Contact a qualified professional.



12.4.1 + Balustrades/Handrails
+ NOT INSTALLED

 Repair Recommended

Balcony handrails were not installed at the time of inspection.

Recommendation

Contact a qualified professional.



13: + KITCHEN

		F	G	D	M	U	N
13.1	+ General		X				
13.2	+ Doors						X
13.3	+ Windows			X			
13.4	+ Floors			X			
13.5	+ Skirtings				X		
13.6	+ Walls			X			
13.7	+ Ceilings			X			
13.8	+ Cabinets			X			
13.9	+ Benchtops			X			
13.10	+ Splashback		X				

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

13.1.1 + General

+ GENERAL VIEWS

General views of the kitchen at the time of inspection.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



13.4.1 + Floors

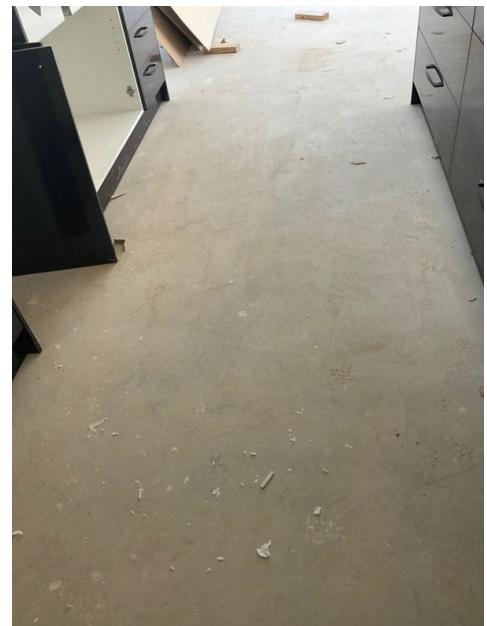
NOT INSTALLED YET

General Advice/Maintenance Item

The flooring was not installed at the time of inspection. It will be inspected in the PCI stage inspection.

Recommendation

Contact a qualified professional.



13.5.1 + Skirtings

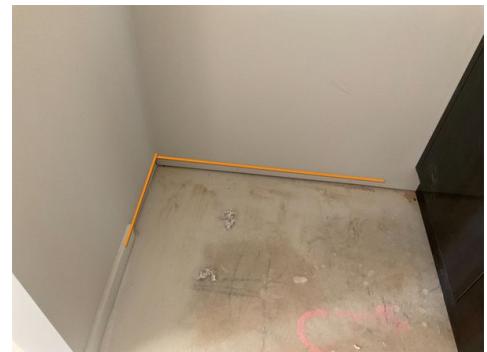
+ INCOMPLETE

Repair Recommended

Skirtings installation has started, however, it was not completed at the time of inspection.

Recommendation

Contact a qualified professional.



13.6.1 + Walls

+ PLASTER INCOMPLETE

Repair Recommended

Plaster installation has started, however, it is incomplete in a few areas. All plasters need to be installed, patched and sanded prior to painting.

Recommendation

Contact a qualified professional.



13.6.2 + Walls

+ PLASTER IS DAMAGED

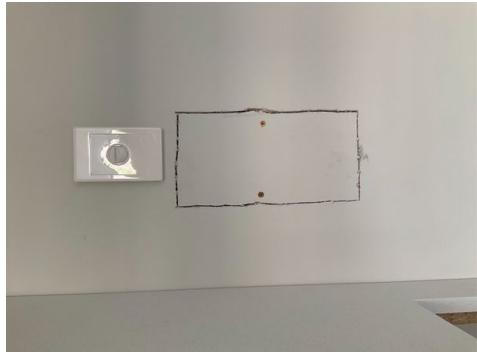
Plaster is damaged in a few areas and needs proper patching and sanding prior to painting.

Recommendation

Contact a qualified professional.



Repair Recommended



13.6.3 + Walls

+ POOR PLASTER PATCHING - JOINTS/CORNERS/EDGES

One or more poor joint/corner/edge patching noted.



Repair Recommended

GUIDE TO STANDARDS AND TOLERANCES - 9.13

All joints and interior angles shall have tape embedded in jointing cement/jointing compound and a minimum of two separate coats of jointing cement/jointing compound applied over all joints, angles, fastener heads and accessories.

All jointing compound shall be finished evenly and be free of tool marks and ridges in preparation for decoration.

Recommendation

Contact a qualified professional.



13.7.1 + Ceilings

+ MINOR DAMAGE

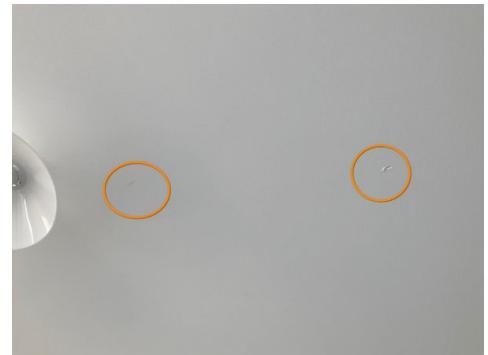
Minor damage to the ceiling noted at the time of inspection. Proper patching and sanding required prior to painting.

Recommendation

Contact a qualified professional.



Repair Recommended



13.8.1 + Cabinets

+ ADJUSTMENT REQUIRED

The cabinets were installed at the time of inspection, however, some adjustments are required. It is normal the cabinets being adjusted in the last stage. They will be inspected and re-assessed in the PCI stage inspection.

Recommendation

Contact a qualified professional.



Repair Recommended



13.8.2 + Cabinets

*** LAMINATE DAMAGED**

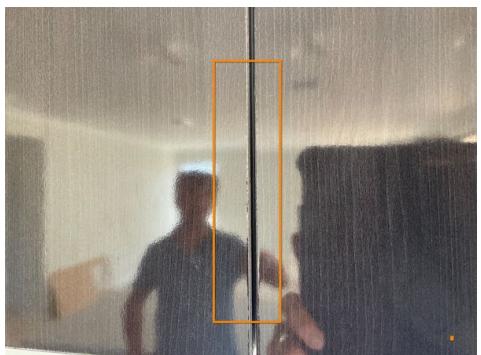
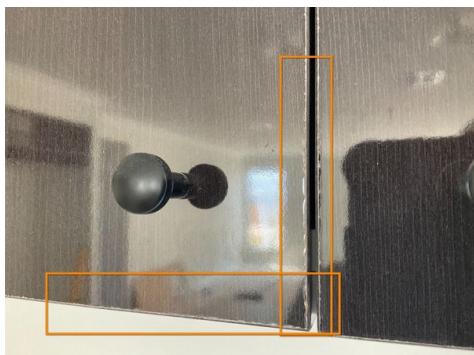
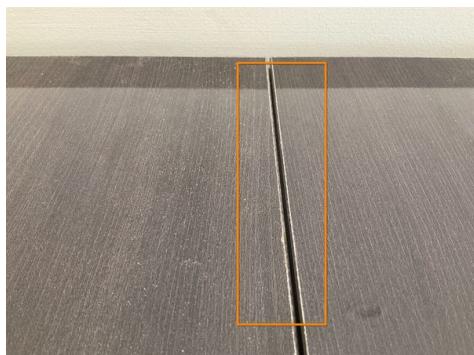
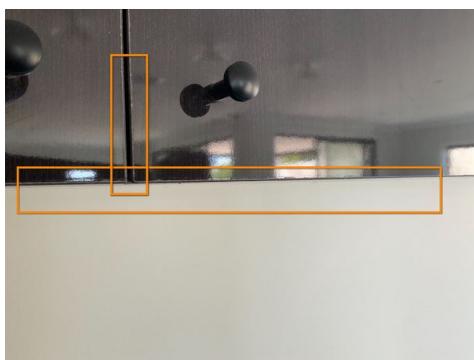
Laminate is damaged or in poor quality in some sections

Recommendation

Contact a qualified professional.



Repair Recommended



13.9.1 + Benchtops + VISUALLY FINE

The benchtop was installed with no visible damage or mark, however, it will be re-inspected in the PCI stage inspection to ensure it has no damage before handover.



General Advice/Maintenance Item

Recommendation

Contact a qualified professional.



13.10.1 + Splashback

+ NOT INSTALLED



The splashback behind the cooktop was not installed at the time of the inspection. It will be inspected in the PCI stage inspection.

If a glass or steel splashbacks would be installed behind the cooker, they need to have a fire retardant substrate if they are to be closer than 200mm to the burner.

The specified clearance, measured from the periphery of the nearest burner to any vertical combustible surface, should be at least 200mm, as outlined in AS/NZS 5601.1:2013. However, where the distance is less than 200mm, that surface is required to be protected (in accordance with Clause 6.10.1.2) to a height of no less than 150mm above the periphery of the nearest burner for the full dimension (width or depth) of the cooking surface area.

Toughened safety glass and a suitable fire-resistant material are often used to protect a combustible surface. However, many plumbers don't realise further certification of the toughened safety glass is required, and that it must be installed on an appropriate fire-resistant backing material. Toughened safety glass used as a splashback must comply with AS/NZS 2208 and needs to be marked accordingly to indicate it is fit for purpose. Alternatively, a certificate from the manufacturer must be supplied to demonstrate that the safety glass is compliant and fit for purpose.



Recommendation

Contact a qualified professional.

14: + LAUNDRY

		F	G	D	M	U	N
14.1	+ General		X				
14.2	+ Floors		X				
14.3	+ Walls	X					
14.4	+ Ceilings	X					
14.5	+ Doors			X			
14.6	+ Windows					X	
14.7	+ Waterproofing				X		
14.8	+ Cabinet/Benchtop	X					

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

14.1.1 + General



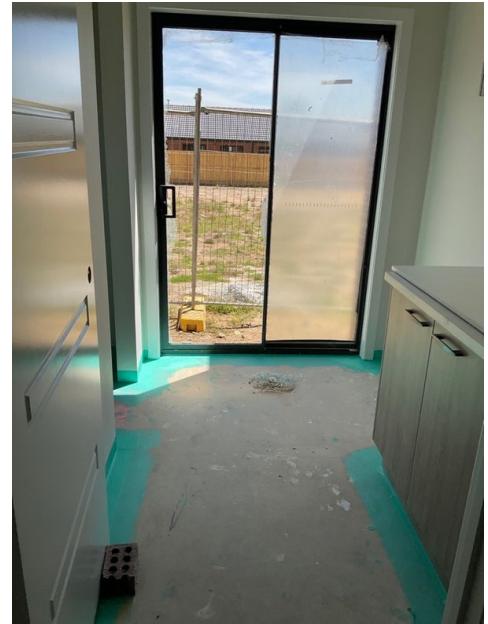
General Advice/Maintenance Item

+ GENERAL VIEW

General views of Bathroom at the time of inspection.

Recommendation

Contact a qualified professional.



14.2.1 + Floors



General Advice/Maintenance Item

NOT INSTALLED YET

The flooring was not installed at the time of inspection. It will be inspected in the PCI stage inspection.

Recommendation

Contact a qualified professional.



14.5.1 + Doors



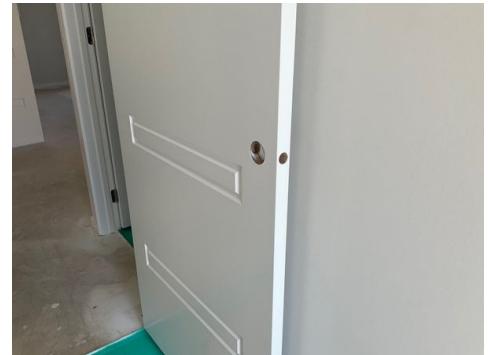
General Advice/Maintenance Item

**+ NOT INSTALLED -
HARDWARE**

The door hardware were not installed at the time of inspection. It is a usual building practice to install the door furniture after painting. They will be inspected in the PCI stage inspection.

Recommendation

Contact a qualified professional.



14.7.1 + Waterproofing

+ GENERAL VIEWS

General views of the waterproofing.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item





14.7.2 + Waterproofing

+ ADDITIONAL COAT REQUIRED

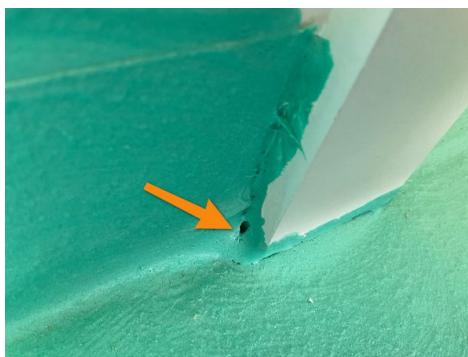
Waterproofing membrane applied improperly. Additional coat required to cover.

Recommendation

Contact a qualified professional.



Repair Recommended



14.8.1 + Cabinet/Benchtop

+ APPEARS FINE

General Advice/Maintenance Item

The cabinet/trough installed and appears fine at the time of inspection. It will be re-inspected in the PCI stage inspection to ensure the adjustment is maintained and operation is fine at the time of handover.

Recommendation

Contact a qualified professional.



15: + STAIRS (INTERNAL)

		F	G	D	M	U	N
15.1	+ Stairs		X				
15.2	+ Balustrade			X			

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

15.1.1 + Stairs



General Advice/Maintenance Item

+ GENERAL VIEWS

General views of stairs and balustrade at the time of inspection.

Recommendation

Contact a qualified professional.



15.1.2 + Stairs



Repair Recommended

+ PREPARATION FOR PAINTING

The stairs appear fine, however, they need preparation prior to painting.

Recommendation

Contact a qualified professional.



15.2.1 + Balustrade
+ NOT INSTALLED

 Repair Recommended

Balustrade or handrails were not installed at the time of inspection.

Recommendation

Contact a qualified professional.



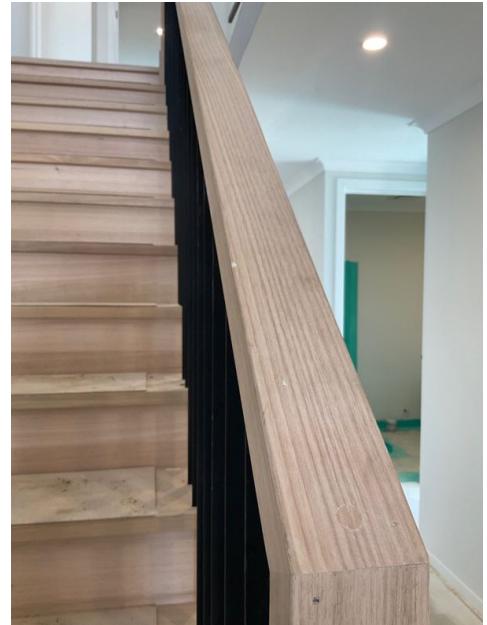
15.2.2 + Balustrade
**+ ROUGH SURFACE ON
HANDRAILS**

 Repair Recommended

The handrails surface is rough. They need to be sanded to have a smooth finish. Remove all dust prior to painting.

Recommendation

Contact a qualified professional.



16: + LIVING ROOM

		F	G	D	M	U	N
16.1	+ General		X				
16.2	+ Floors	X					
16.3	+ Skirtings	X					
16.4	+ Walls			X			
16.5	+ Ceilings			X			
16.6	+ Doors	X					
16.7	+ Windows	X					
16.8	+ Switches				X		

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

16.1.1 + General

+ GENERAL VIEW

General view(s) of the area at the time of inspection.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item





16.2.1 + Floors

NOT INSTALLED YET

The flooring was not installed at the time of inspection. It will be inspected in the PCI stage inspection.

Recommendation

Contact a qualified professional.



16.4.1 + Walls

+ PLASTER INCOMPLETE

Plaster installation has started, however, it is incomplete in a few areas. All plasters need to be installed, patched and sanded prior to painting.

Recommendation

Contact a qualified professional.



Repair Recommended



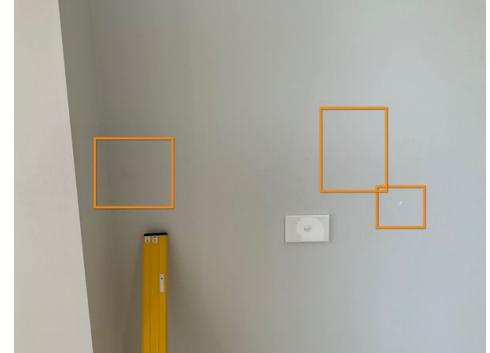
16.4.2 + Walls

+ POOR PLASTER PATCHING - JOINTS/CORNERS/EDGES

One or more poor joint/corner/edge patching noted.



Repair Recommended



Ground Floor Entrance Left

GUIDE TO STANDARDS AND TOLERANCES - 9.13

All joints and interior angles shall have tape embedded in jointing cement/jointing compound and a minimum of two separate coats of jointing cement/jointing compound applied over all joints, angles, fastener heads and accessories.

All jointing compound shall be finished evenly and be free of tool marks and ridges in preparation for decoration.

Recommendation

Contact a qualified professional.

16.8.1 + Switches

SWITCHES LOCATION

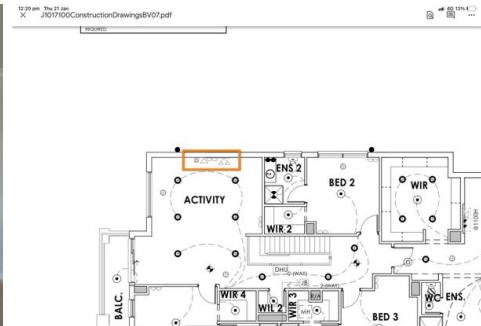
Activity room tv switches are not centered

Recommendation

Contact a qualified professional.



Repair Recommended



17: + MASTER BEDROOM

		F	G	D	M	U	N
17.1	+ General		X				
17.2	+ Floors		X				
17.3	+ Skirtings	X					
17.4	+ Walls	X					
17.5	+ Ceilings	X					
17.6	+ Doors	X					
17.7	+ Windows	X					

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Limitations

+ Floors

STORED MATERIAL



Observations

17.1.1 + General

+ GENERAL VIEW



General Advice/Maintenance Item

General view(s) of the area at the time of inspection.

Recommendation

Contact a qualified professional.



18: + ENSUITE

		F	G	D	M	U	N
18.1	+ General		X				
18.2	+ Floors	X					
18.3	+ Walls	X					
18.4	+ Ceilings	X					
18.5	+ Doors			X			
18.6	+ Windows	X					
18.7	+ Shower recess/hub	X					
18.8	+ Bath		X				
18.9	+ Waterproofing				X		
18.10	+ Vanity/Benchtop				X		

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

18.1.1 + General

+ GENERAL VIEW



General views of Bathroom at the time of inspection.

Recommendation

Contact a qualified professional.



18.5.1 + Doors

+ NOT INSTALLED - DOOR LEAVES



Door frame/jambs are installed, however, the door leaves are not installed or been dismantled for the purpose of easing the painting and tiling process as a usual building practice. They will be inspected and assessed in the PCI stage inspection.

Recommendation

Contact a qualified professional.



18.8.1 + Bath

+ NOT INSTALLED

The bath has not been installed at the time of inspection. It is a normal practice to install the bath at the later stages to prevent the bath from any possible damages during the construction.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item

18.9.1 + Waterproofing

+ GENERAL VIEWS

General views of the waterproofing.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



18.9.2 + Waterproofing

+ ADDITIONAL COAT REQUIRED

Waterproofing membrane applied improperly. Additional coat required to cover.

Recommendation

Contact a qualified professional.



Repair Recommended



18.10.1 + Vanity/Benchtop

ADJUSTMENT REQUIRED

Recommendation

Contact a qualified professional.



19: + BEDROOM 2

		F	G	D	M	U	N
19.1	+ General		X				
19.2	+ Floors	X					
19.3	+ Skirtings	X					
19.4	+ Walls	X					
19.5	+ Ceilings	X					
19.6	+ Doors	X					
19.7	+ Windows	X					

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

19.1.1 + General

+ GENERAL VIEW



General view(s) of the area at the time of inspection.

Recommendation

Contact a qualified professional.



20: + BEDROOM 3

		F	G	D	M	U	N
20.1	+ General		X				
20.2	+ Floors	X					
20.3	+ Skirtings	X					
20.4	+ Walls	X					
20.5	+ Ceilings	X					
20.6	+ Doors	X					
20.7	+ Windows	X					

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

20.1.1 + General

+ GENERAL VIEW



General view(s) of the area at the time of inspection.

Recommendation

Contact a qualified professional.



21: + BEDROOM 4

		F	G	D	M	U	N
21.1	+ General		X				
21.2	+ Floors				X		
21.3	+ Skirtings	X					
21.4	+ Walls	X					
21.5	+ Ceilings	X					
21.6	+ Doors	X					
21.7	+ Windows	X					

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

21.1.1 + General

+ GENERAL VIEW

General view(s) of the area at the time of inspection.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



21.2.1 + Floors

* DAMAGED FLOOR

Recommendation

Contact a qualified professional.



Repair Recommended



22: + ADD. ENSUITE

		F	G	D	M	U	N
22.1	+ General		X				
22.2	+ Floors	X					
22.3	+ Walls	X					
22.4	+ Ceilings	X					
22.5	+ Doors			X			
22.6	+ Windows	X					
22.7	+ Shower recess/hub	X					
22.8	+ Bath	X					
22.9	+ Waterproofing			X			
22.10	+ Vanity/Benchtop	X					

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

22.1.1 + General

+ GENERAL VIEW



General Advice/Maintenance Item

General views of Bathroom at the time of inspection.

Recommendation

Contact a qualified professional.



22.5.1 + Doors

+ NOT INSTALLED - ARCHITRAVES

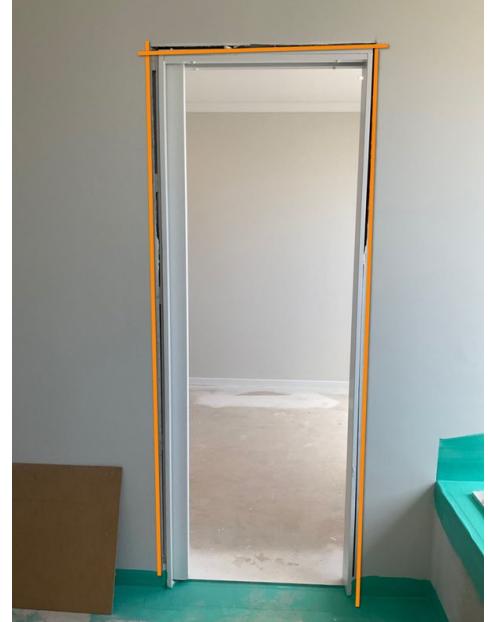


Repair Recommended

Door architraves were not installed at the time of inspection. All architraves should have been installed by this stage as a part of fixing stage requirements. They will be inspected in the PCI stage inspection.

Recommendation

Contact a qualified professional.



22.9.1 + Waterproofing

+ GENERAL VIEWS

General views of the waterproofing.

Recommendation

Contact a qualified professional.



22.9.2 + Waterproofing

+ ADDITIONAL COAT REQUIRED

Waterproofing membrane applied improperly. Additional coat required to cover.

Recommendation

Contact a qualified professional.

 Repair Recommended



23: + POWDER ROOM

		F	G	D	M	U	N
23.1	+ General		X				
23.2	+ Floors	X					
23.3	+ Walls	X					
23.4	+ Ceilings	X					
23.5	+ Doors			X			
23.6	+ Windows					X	
23.7	+ Shower recess/hub	X					
23.8	+ Bath						X
23.9	+ Waterproofing	X					
23.10	+ Vanity/Benchtop				X		

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

23.1.1 + General

+ GENERAL VIEW



General views of Bathroom at the time of inspection.

Recommendation

Contact a qualified professional.



23.5.1 + Doors

+ NOT INSTALLED - HARDWARE



The door hardware were not installed at the time of inspection. It is a usual building practice to install the door furniture after painting. They will be inspected in the PCI stage inspection.

Recommendation

Contact a qualified professional.



23.9.1 + Waterproofing

+ GENERAL VIEWS

General views of the waterproofing.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



23.10.1 + Vanity/Benchtop

+ BENCHTOP NOT INSTALLED

The vanity was installed at the time of inspection, however, the benchtop yet to be installed. It will be inspected in the PCI stage inspection.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



24: + ENSUITE 2

		F	G	D	M	U	N
24.1	+ General		X				
24.2	+ Floors	X					
24.3	+ Walls	X					
24.4	+ Ceilings	X					
24.5	+ Doors			X			
24.6	+ Windows	X					
24.7	+ Shower recess/hub	X					
24.8	+ Bath						X
24.9	+ Waterproofing	X	X				
24.10	+ Vanity/Benchtop				X		

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

24.1.1 + General

+ GENERAL VIEW



General Advice/Maintenance Item

General views of Bathroom at the time of inspection.

Recommendation

Contact a qualified professional.



24.5.1 + Doors

+ NOT INSTALLED - DOOR LEAVES



General Advice/Maintenance Item

Door frame/jambs are installed, however, the door leaves are not installed or been dismantled for the purpose of easing the painting and tiling process as a usual building practice. They will be inspected and assessed in the PCI stage inspection.

Recommendation

Contact a qualified professional.



24.9.1 + Waterproofing

+ GENERAL VIEWS

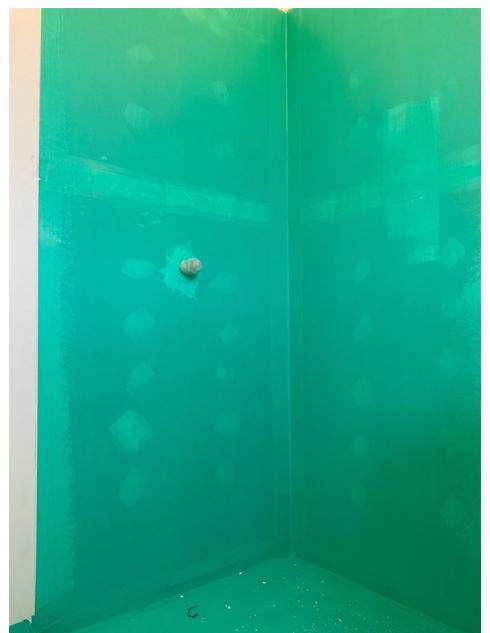
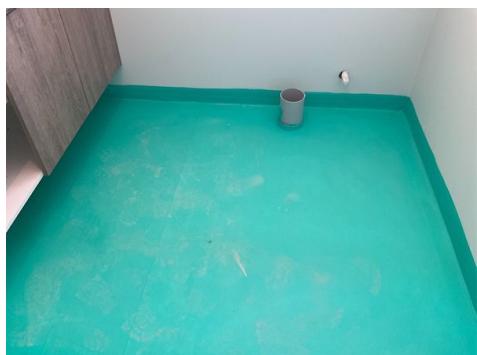
General views of the waterproofing.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



24.10.1 + Vanity/Benchtop

+ VANITY NOT INSTALLED

The vanity was not installed at the time of inspection. It will be inspected in the PCI stage inspection.

Recommendation

Contact a qualified professional.



Repair Recommended



25: + ADDED MASTER

		F	G	D	M	U	N
25.1	+ General		X				
25.2	+ Floors	X					
25.3	+ Skirtings	X					
25.4	+ Walls	X					
25.5	+ Ceilings	X					
25.6	+ Doors	X					
25.7	+ Windows	X					

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

25.1.1 + General

+ GENERAL VIEW



General Advice/Maintenance Item

General view(s) of the area at the time of inspection.

Recommendation

Contact a qualified professional.



26: + ENSUITE 3

		F	G	D	M	U	N
26.1	+ General		X				
26.2	+ Floors	X					
26.3	+ Walls	X					
26.4	+ Ceilings	X					
26.5	+ Doors			X			
26.6	+ Windows	X					
26.7	+ Shower recess/hub	X					
26.8	+ Bath						X
26.9	+ Waterproofing	X					
26.10	+ Vanity/Benchtop		X				

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

26.1.1 + General

+ GENERAL VIEW



General Advice/Maintenance Item

General views of Bathroom at the time of inspection.

Recommendation

Contact a qualified professional.



26.5.1 + Doors

CLEN MARKS

Recommendation

Contact a qualified professional.



Repair Recommended



26.9.1 + Waterproofing

+ GENERAL VIEWS

General views of the waterproofing.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



27: + ENSUITE 4

		F	G	D	M	U	N
27.1	+ General		X				
27.2	+ Floors	X					
27.3	+ Walls	X					
27.4	+ Ceilings	X					
27.5	+ Doors	X					
27.6	+ Windows	X					
27.7	+ Shower recess/hub	X					
27.8	+ Bath						X
27.9	+ Waterproofing	X					
27.10	+ Vanity/Benchtop				X		

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

27.1.1 + General

+ GENERAL VIEW



General Advice/Maintenance Item

General views of Bathroom at the time of inspection.

Recommendation

Contact a qualified professional.



27.10.1 + Vanity/Benchtop

+ VANITY NOT INSTALLED

The vanity was not installed at the time of inspection. It will be inspected in the PCI stage inspection.

Recommendation

Contact a qualified professional.



Repair Recommended



28: + GUEST ROOM

		F	G	D	M	U	N
28.1	+ General		X				
28.2	+ Floors		X				
28.3	+ Skirtings		X				
28.4	+ Walls			X			
28.5	+ Ceilings		X				
28.6	+ Doors			X			
28.7	+ Windows	X					

F = Visually Fine G = General Advice D = Defect M = Major Defect U = Unable to Inspect N = Not Applicable

Observations

28.1.1 + General

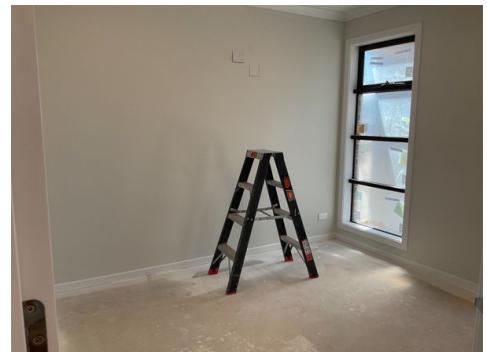
+ GENERAL VIEW



General view(s) of the area at the time of inspection.

Recommendation

Contact a qualified professional.



28.4.1 + Walls

+ BOWED OR NOT STRAIGHT WALL



One or more walls are bowed and/or not straight.

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Walls are defective if they deviate from plane (bow) by more than 5 mm over a 1.8 m straight edge. This tolerance includes internal walls with a build-up of plaster at internal and external corners of the plasterwork.

Recommendation

Contact a qualified professional.



28.4.2 + Walls

+ PLASTER IS DAMAGED

Plaster is damaged in a few areas and needs proper patching and sanding prior to painting.

Recommendation

Contact a qualified professional.

 Repair Recommended



STANDARDS OF PRACTICE
