



PRE-PURCHASE INSPECTION (BUILDING & PEST)

1234 Main St. Melbourne VIC 3000

Buyer Name

16/10/2021 9:00AM



Inspector

Maison Azdari

Registered Building Practitioner & Pest

Inspector

1300 471 805

booking@ownerinspections.com.au



Agent

Agent Name

555-555-5555

agent@spectora.com

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Inspection Agreement

1. This is an Agreement between you, the undersigned Client and us, Owner Inspections, pertaining to our inspection of the Property.
2. If there is more than one Client, you are signing on behalf of all of you, and you represent that you are authorised to do so.
3. 'Owner Inspections' Report carries out in accordance with the guidelines of Australian Standard 4349.1 2007 (Standard), which covers the minimum requirements for the Visual Inspection of residential buildings.

The purpose of the Inspection is to provide a visual Inspection and provide in-writing advice only to the prospective purchaser/owner regarding the condition of the Property at the date and time of Inspection.

4. The Report is NOT a certificate of compliance that the Property complies with the requirements of any Act, regulation, ordinance, local law or by-law, local council or other authorities, or as a warranty or an insurance policy against problems developing with the building in the future.
5. The Report is based on the condition of the inspected Property at the date and time of Inspection. While the Inspection and Report conducted and prepared with the possible care, still some access limitation and safety hazards can limit the Inspector's ability to detect all defects. These limits and safety items are defined in the standards.
6. The Report assumes that the existing use of the building will continue. If the vendor/owner wishes to change the use of the Property, a permit to be acquired from the local authorities.
7. This Report does not include the identification of unauthorised building work or work not compliant with building/council regulations. The Report does not include identification of the municipality regulations and requirements as well as identification of design defects for the construction. According to the Standards, the estimate of the costs of the rectifications is not required in this Report.
8. The construction stage Inspection Report is prepared based on the opinion and assessment of the Inspector at the date and time of the Inspection on the general condition of the inspected Property. The Report will not guarantee to include all defects. The Report reflects the quality of workmanship only and will not diminish the responsibility of the builder. The building company has and will have full responsibility for the build as specified in the law and regulations. This Inspection Report is to Client as a piece of advice and is not a mandatory stage Inspection specified in the Acts and Regulations and building permit.
9. We do not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the Property located. If we hold a valid occupational license, we may inform you of this, and you may hire us to perform additional functions. Any Agreement for such additional services shall be in separate writing.

10. Checking Legal matters, building contract, design, easements, local council restrictions and requirements, crossovers, Strata title, boundaries, connections, building envelope, planning and building permits, setbacks and zonings are out of this Inspection and Report scope of work.
11. The Report will not include defects that may only be apparent in certain weather conditions or defects that have not yet appeared due to prolonged periods of wet or dry weather or other reasons.
12. An inspector shall only inspect areas where safe and unobstructed access provided. Reasonable access is defined in AS4349.1-2007 and this Agreement. Reasonable access does not include removing stored material/goods, nails, screws, cutting or making access hole, and moving furniture.
13. We will not test for the presence of radon, a harmful gas, mould, presence of asbestos, soil contamination, or other environmental hazards or violations.
14. The Report does not identify the presence of pests or any damage caused by pests (e.g. termites, borers, etc.) unless the Client added to the requested service.
15. The Inspection is not intended to include rigorous assessment of all building elements in a property. Any maintenance and general advice items are a helpful guide only. The Report does not necessarily include all maintenance items.
16. If you request a re-Inspection, the re-Inspection is subject to the terms of this Agreement and re-Inspection fee.
17. The Report will be based on the Inspector's assessment on major defects and safety hazards evident and visually visible on the date and time of the Inspection. The Report will also provide a general assessment of the Property and collectively comment on minor defects which would form a regular part of property maintenance.
18. Limitation on Liability and Damages: We are not liable for any cost of repair or replacement of unreported defects, either current or arising in the future. In all cases, our liability is limited to liquidated damages in an amount not greater than 1.5 times the fee you paid us. You waive any claim for consequential, exemplary, special or incidental damages or the loss of the use of the home/building. You acknowledge that these liquidated damages are not a penalty, but that we intend it to: (i) reflect the fact that actual damages may be difficult or impractical to ascertain; (ii) allocate risk between us; and (iii) enable us to perform the Inspection for the agreed-upon fee. If you wish to eliminate this liquidated damage provision, we are willing to perform the Inspection for an additional fee of \$2,000 payable in advance upon your request.
19. Our Inspection and Report are for your use only. You give us permission to discuss our observations with real estate agents, owners, builders, or other interested parties. You will be the sole owner of the Report and all rights to it. We are not responsible for the use or misinterpretation by third parties, and third parties who rely on it in any way do so at their own risk and release us (including employees and business entities) from any liability whatsoever. You are not allowed to send/show our Report and/or a quotation to our market competitors. If Owner Inspections realise that our competitor has/saw our Report belonging to you and your Property, we have the right to take legal action to retrieve damages. If you or any person acting on your behalf provide the Report to a third party who then sues you and/or us, you release us from any liability and agree to pay our costs and legal fees in defending any action naming us. Our Inspection and Report are in no way a guarantee or warranty, express

or implied, regarding the future use, operability, habitability or suitability of the home/building or its components. We disclaim all warranties, express or implied, to the fullest extent allowed by law.

20. You agree that the exclusive venue for any litigation arising out of this Agreement shall be in Australia, where we have our principal place of business. If you fail to prove any claim against us, you agree to pay all our legal costs, expenses and attorneys' fees incurred in defending that claim.

21. If a court declares any provision of this Agreement invalid, the remaining provisions remain in effect. This Agreement represents our entire Agreement; there are no terms other than those set forth herein. All prior discussions are merged into this Agreement. No statement or promise by us shall be binding unless reduced to writing and signed by one of our authorised officers. Any modification of this Agreement must be in writing and signed by you and by one of our authorised officers. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. You will have no cause of action against us after one year from the date of the Inspection.

22. If a court finds any term of this Agreement ambiguous or requiring judicial interpretation, the court shall not construe that term against us because of the rule that any ambiguity in a document is construed against the party drafting it. You had the opportunity to consult qualified legal advice before accepting this Agreement.

23. You may not assign this Agreement.

24. BY BOOKING THE INSPECTIONS, YOU CONFIRM THAT YOU HAVE CAREFULLY READ THIS AGREEMENT. YOU AGREE TO IT AND ACKNOWLEDGE RECEIVING A COPY OF IT.

Purpose of Inspection

The purpose of the Inspection is to identify the major defects and safety hazards associated with the Property at the time of the Inspection. The Inspection and reporting are limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1- 2007. The overall condition of this building has been compared to similarly constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

This Report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial Inspection. A re-inspection after this time is essential.

Conditions of Inspection

An Inspection Report may be conditional on prevailing weather conditions or recent occupancy and use of services that might affect observations; Information provided by the Client or the agents of the Client; Deliberate concealment of defects; Any other relevant factor limiting the Inspection.

Scope of Inspection

The Inspection shall comprise a visual assessment of the Property to identify major defects and to form an opinion regarding the general condition of the Property at the time of Inspection. Where the Client or other interested party requires only assessment of the structure of the Property, the scope of the Inspection shall be limited to that described in Appendix C AS4349.1-2007. An estimate of the cost of rectification of defects is not required in an Inspection report in accordance with this Standard.

Inspection Records

The Inspector shall record the following information prior to, or during the course of, the Inspection: Identity of the Inspector undertaking the Inspection; Identity of the Client; The address of the Property inspected; Date of Inspection; Weather conditions at the time of the Inspection; Limitations of Inspection with respect to the accessible area; Observation of defects.

Areas for Inspection

The Client shall arrange right of entry, facilitate physical access to the property and supply necessary information to enable the Inspector to undertake the Inspection and prepare a report. The Inspector is not responsible for arranging access to Property or parts of the Property. Areas where reasonable entry is denied to the Inspector, or where reasonable access is not available, are excluded and do not form part of, the Inspection.

The Inspector shall inspect accessible parts of the building and appurtenances, together with the relevant feature of the Property within 30 m of the building and within the boundaries of the site, or as otherwise agreed in the Inspection Agreement. In this context, relevant features include car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth embankments, surface water drainage and stormwater run-off.

The following areas shall be inspected where applicable: The interior of the building; The roof space; The exterior of the building; The sub-floor space; The roof exterior; The Property within 30 m of the building subject to Inspection.

Significant items to be reported are as follows:

- (a) Major defects.
- (b) A general impression regarding the extent of minor defects, for example, significantly deteriorating exterior paint.
- (c) Any major defect that is an urgent and serious safety hazard, for example, unsafe balustrades or imminent collapse of a structural member.

Items to be inspected where applicable:

Interior: Ceilings, Walls, Timber floors, Concrete floors, Timber or steel frames and structure, Timber windows, Metal/Aluminium framed windows, Doors and Frames, Kitchen: Benchtop, Cupboards, Sink/Taps, Tiles, Bathroom/WC/Ensuite: Cistern and pan, Bidet, Taps, Tiles, Bath, Shower, Vanity, Basins, Ventilation, Mirror; Laundry: Taps, Tubs/Cabinet, Tiles, Ventilation; stairs: Stringer, Handrail/Balusters, Treads and risers.

Exterior: Walls, Timber or steel frames and structure, Stairs, Balconies, Verandas, patios, decks, suspended concrete floors, balustrades, Roof, Skylight, Valleys, Guttering, Downpipes, Eaves, Fascia and barges.

Roof Space: Roof covering, Roof framing, Sarking, Party walls, Insulation.

Subfloor Space: Timber Floor, Suspended concrete floors.

The site: Car accommodation, detached laundry, ablution facilities and garden sheds, Retaining walls, Paths and driveways, Steps, Fencing, Surface-water.

Exclusion of items from Inspection (Appendix D):

(a) Footings below ground; (b) Concealed damp-proof course; (c) Electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communications and security systems; (d) Concealed plumbing; (e) Adequacy of roof drainage as installed; (f) Gas fittings and fixtures; (g) Airconditioning; (h) Automatic garage door mechanisms; (i) Swimming pools and associated filtration and similar equipment; (j) The operation of fireplaces and solid fuel heaters, including chimneys and flues; (k) Alarm systems; (l) Intercom systems; (m) Soft floor coverings; (n) Electrical appliances including dishwashers, incinerators, ovens, ducted vacuum systems; (o) Paint coatings, except external protective coatings; (p) Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea-formaldehyde); (q) Timber and metal framing sizes and adequacy; (r) Concealed tie-downs and bracing; (s) Timber pest activity; (t) Other mechanical or electrical equipment (such as gates, inclinators); (u) Soil conditions; (v) Control joints; (w) Sustainable development provisions; (x) Concealed framing-timbers or any areas concealed by wall linings/sidings; (y) Landscaping; (z) Rubbish; (aa) Floor cover; (bb) Furniture and accessories; (cc) Stored items; (dd) Insulation; (ee) Environmental matters (e.g., BASIX, water tanks, BCA Environmental Provisions); (ff) Energy efficiency; (gg) Lighting efficiency.

Safe and reasonable access

The extent of accessible areas shall be determined by the Inspector at the time of Inspection,

based on the conditions encountered at the time of Inspection. The Inspector shall also determine whether sufficient space is available to allow safe access. The Inspection shall include only accessible areas and areas that are within the Inspector's line of sight and close enough to enable reasonable appraisal. Reasonable access shall be determined as below:

Roof interior: minimum 400mm x 500mm access hole, 600mm x 600mm crawl space, accessible from a 3.6m ladder.

Roof exterior: Accessible from a 3.6m ladder placed on the ground.

Sub Floor Area: 400mm x 500mm access hole; 400mm x 500mm crawl space. Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.

Subfloor areas sprayed with chemicals are not to be inspected unless it is safe to do so. Areas where reasonable entry is denied to the Inspector or where reasonable access is not available are excluded from and do not form part of the Inspection.

Access Limitation:

The Inspector will conduct a non-invasive visual Inspection which will be limited to those accessible areas and sections of the Property to which Safe and Reasonable Access is both available and permitted on the date and time of the Inspection. Areas where reasonable entry is denied to the Inspector, or where safe and reasonable access is not available, are excluded from and do not form part of, the Inspection. Those areas may be the subject of an additional Inspection upon request following the provision of reasonable entry and access.

The Inspection excludes the inside of walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, and other areas that are concealed or obstructed. The Inspector will not dig, gouge, force or perform any other invasive procedures.

Examples of access limitations:

The legal right of entry, locked doors/windows, security systems, pets, furniture or other Obstructions, Height, narrow boundary clearances, thick vegetation, small roof or crawl space, adverse weather conditions.

The Report shall identify any area or item within the scope of the Inspection that was not inspected and the factor that prevented Inspection.

Acceptance criteria:

The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Definitions:

Access hole (cover): An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an Inspection, maintenance or repair.

Accessible area: An area of the site where sufficient, safe and reasonable access is available to allow Inspection within the scope of the Inspection.

Building element: Portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

Client: The person or other entity for whom the Inspection is being carried out.

Defect: Fault or deviation from the intended condition of a material, assembly, or component.

Inspection: Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.

Inspector: Person who is responsible for carrying out the Inspection.

Limitation: Any factor that prevents full or proper Inspection of the building.

Major defect: A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the Property.

Defect: Fault or deviation from the intended condition of a material, assembly, or component.

Minor defect: A defect other than a major defect.

Serviceability defect: Fault or deviation from the intended serviceability performance of a building element.

Structural defect: Fault or deviation from the intended structural performance of a building element.

Structural element: Physically distinguishable part of a structure; for example, wall, columns, beam, connection.

Subfloor space: Space between the underside of a suspended floor and the ground.

Roof space: Space between the roof covering and the ceiling immediately below the roof covering.

Site: Allotment of land on which a building stands or is to be erected.

Type of Defects:

A - Damage: The fabric of the element has ruptured or is otherwise broken.

B - Distortion, Warping, Twisting: An element or elements has been distorted or moved from the intended location.

C - Water penetration, Damp related: Moisture is present in unintended or unexpected locations.

D - Material deterioration (rusting, rotting, corrosion, decay): An element or component is subject to deterioration of material or materials.

E - Operational: An element or component does not operate as intended.

F - Installations (including omissions): The element or component is subject to improper or ineffective installation, inappropriate use, or missing components.

Types of Cracking Defects:

Determining defect: Cracking in a building element may constitute a defect in a variety of ways. In many cases, a particular cracking occurrence may result in more than one type of defect. For example, a particular crack might at the same time be a structural defect, a serviceability defect and an appearance defect.

Appearance defect: Cracking of a building element is an appearance defect where in the opinion of the Inspector the only present or expected consequence of the cracking is that the appearance of the element is blemished.

Serviceability defect: Cracking of a building element is a serviceability defect where in the opinion of the Inspector the present or expected consequence of the cracking is that the function of the building element is impaired.

Examples of serviceability defects resulting from cracking are as follows:

- (a) Windows or doors not opening and closing properly.
- (b) Water leakage occurring through a building element, which otherwise should not allow water entry.

Structural defect: Cracking of a building element is a structural defect where in the opinion of the Inspector the present or expected consequence of the cracking is that the structural performance of the building element is impaired, or where the cracking is the result of the structural behaviour of the building.

The criteria for determining whether cracking is a structural defect are not solely related to

crack width. Cracks 0.1 mm wide may be a structural defect while cracks 5.0 mm wide may

not be structural defects. Cracking in a structural element does not necessarily indicate a

structural defect.

Cracks:

If cracks have been identified in the table below, then A Structural Engineer is required to determine the significance of the cracking prior to a decision to purchase or settlement. Regardless of the appearance of the cracks a Pre Purchase Building Inspector carrying out a Pre Purchase Inspection within the scope of a visual inspection is unable to determine the expected consequences of the cracks.

Other Inspections and Reports Required:

It is Strongly Recommended that the following Inspections and Reports be obtained prior to any decision to purchase the Property and/or before settlement. Obtaining these reports will better equip the purchaser to make an informed decision:

- Council Plan Inspection
- Electrical Inspection
- Plumbing Inspection
- Timber Pest Inspection
- Structural (Engineer)
- Geotechnical Inspection
- Swimming Pool Inspection
- Drainage Inspection
- Asbestos Inspection
- Mould Inspection
- Gas fitting Inspection
- Appliances Inspection
- Air-conditioning Inspection
- Alarm/Intercom/Data Systems
- Hydraulics Inspection
- Mechanical Services
- Hazards Inspection
- Fire/Chimney Inspection
- Estimating Report
- Garage Door Mechanical
- Durability of Exposed Surfaces

SERVICES:

Whether or not services have been used for some time prior to an inspection being carried out will affect the detection of leaks and other defects. For example, in the case of a shower enclosure, the absence of any dampness at the time of the Inspection does not necessarily mean that the enclosure will not leak”.

Electrical Installation: All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The checking of any electrical item is outside the scope of this Report. It's recommended that a licensed electrician be consulted for further advice.

Plumbing: All plumbing needs to be inspected and reported on by a plumber. It's recommended that a licensed plumber be consulted for further advice.

Hot Water Service: All hot water services need to be inspected and reported on by a plumber and/or electrician. It's recommended that a licensed plumber and/or electrician be consulted for further advice.

Gas: All gas services need to be inspected and reported on by a gas plumber. It's recommended that a licensed gas plumber be consulted for further advice.

Phone: All phones, phone lines and outlets need to be inspected and reported on by a telecommunications technician. It's recommended that a telecommunications technician be consulted for further advice.

Smoke Detectors: Australian Standard AS 3786 - Advises that Smoke detectors are required for all buildings where people sleep. It is recommended that an electrician be consulted to give advice on those installed or install these detectors.

Strata Title and Easements:

Strata title and easement are out of the scope of this Report. It is strongly recommended that an Inspection and Report on these areas be obtained prior to any decision to purchase the Property and/or before settlement. Obtaining these reports will better equip the purchaser to make an informed decision.

Other Notes:

In the case of strata and company title properties, the Inspection is limited to the interior and immediate exterior of the particular unit being inspected. The exterior above ground floor level is not inspected. The complete Inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and provide advice on the best course of action with regards to the trees.

The septic tanks: Should be inspected by a licensed plumber.

Swimming Pools: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this Inspection and put into place the necessary recommendations could result in finds for noncompliance under the legislation.

Surface Water Drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and storm water runoff and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

Important Information Regarding the Scope and Limitations of the Inspection and this Report

Important Information Any person who relies upon the contents of this Report does so acknowledging that the following clauses, which define the Scope and Limitations of the Inspection, form an integral part of the Report.

This Report is NOT an all-encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the Inspection. Whether or not, a defect is considered significant or not depends to a large extent, upon the age and type of the building inspected. This Report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

THIS IS A VISUAL INSPECTION ONLY limited to those areas and sections of the Property fully accessible and visible to the Inspector on the date of Inspection. The Inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The Inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The Inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the Inspection and whether this will affect the detection of leaks or other defects (eg. In the case of shower enclosures the absence of any dampness at the time of the Inspection does not necessarily mean that the enclosure will not leak); the presence or absence of timber pests; gas- fittings; common property areas; environmental concerns; the proximity of the Property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly, this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the Property. (NB: Such matters may upon request be covered under the terms of a Special-purpose Property Report.)

Consumer Complaint Procedure:

In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, you must notify Us withing 7 days from the inspection date by email. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty-eight (28) days of your notification to Us) and give Us

full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty-eight (28) days of the date of the Inspection.

If You are not satisfied with our response You must within twenty-one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of Arbitrator, will proceed in the following manner: The parties must submit all written submissions and evidence to the Arbitrator within twenty-one (21) days of the appointment of the Arbitrator; and

The arbitration will be held within twenty-one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty-one (21) of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs.

The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty-one (21) days of the order.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

ASBESTOS DISCLAIMER:

"No inspection for asbestos was carried out at the Property and no report on the presence or absence of asbestos is provided. If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed, then this may be noted in the Additional Comments section of the Report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even buildings built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the Property, then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples' health. You should seek advice from a qualified asbestos removal expert."

MOULD (MILDEW AND NON-WOOD DECAY FUNGI) DISCLAIMER:

Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for Mould was carried out at the Property and no report on the presence or absence of Mould is provided. If in the course of the Inspection, Mould happened to be noticed it may be noted in the Additional Comments section of the Report. If Mould is noted as present within the Property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

MAGNESITE FLOORING DISCLAIMER:

No inspection for Magnesite Flooring was carried out at the Property and no report on the presence or absence of Magnesite Flooring is provided. You should ask the owner whether Magnesite Flooring is present and/or seek advice from a Structural Engineer.

IMPORTANT DISCLAIMER:

DISCLAIMER OF LIABILITY: No Liability shall be accepted on an account of the failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for Inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES: Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this Report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement then they may rely on the Report subject to the terms and conditions of this agreement and the Report itself.

SUMMARY




























MAINTENANCE
ITEM/INFORMATION ONLY



DEFECTS



MAJOR DEFECTS/SAFETY
HAZARDS

-  1.3.1 + Inspection Details - + Views: + General views of the property at the time of the inspection
-  2.1.1 + Inspection Summary Notes - + Summary Condition: Overall Condition - Below Average
-  3.2.1 + Utilities - + Hot Water Systems: + Corrosion
-  4.2.1 + Roof External - + Roof Covering (Metal): Debris
-  4.2.2 + Roof External - + Roof Covering (Metal): Improper Installation
-  4.2.3 + Roof External - + Roof Covering (Metal): Moss/algae Growth on The Roof
-  4.2.4 + Roof External - + Roof Covering (Metal): Dented/Damaged/Scratched
-  4.2.5 + Roof External - + Roof Covering (Metal): Rust/Corrosion
-  4.2.6 + Roof External - + Roof Covering (Metal): Negative/Insufficient Grading
-  4.3.1 + Roof External - + Flashings: Loose/Separated
-  5.1.1 + Rainwater Drainage System - + Gutter: Debris
-  5.2.1 + Rainwater Drainage System - + Downpipes: Not Connected to the stormwater system
-  5.2.2 + Rainwater Drainage System - + Downpipes: Not secured
-  5.3.1 + Rainwater Drainage System - + Site Drainage: Negative Grading
-  5.3.2 + Rainwater Drainage System - + Site Drainage: Silt Pit - debris/soil inside
-  6.2.1 + House External - + Cladding (Masonry): Cladding/ground (soil) clearance required - min 150mm
-  6.2.2 + House External - + Cladding (Masonry): Cracking - Major - Category 3 (5mm - 15mm)
-  6.2.3 + House External - + Cladding (Masonry): Rising Damp
-  6.2.4 + House External - + Cladding (Masonry): Sealant Recommended
-  6.2.5 + House External - + Cladding (Masonry): Mortar blow out
-  6.3.1 + House External - + Claddings (Timber, Render, Hebel, Others): Cracking - Moderate
-  6.3.2 + House External - + Claddings (Timber, Render, Hebel, Others): Cladding Re-Painting/Resealing Required
-  6.4.1 + House External - + Doors and Windows (External): Door/Hardware Damaged
-  6.4.2 + House External - + Doors and Windows (External): Rusting
-  6.4.3 + House External - + Doors and Windows (External): Under window flashing - Not installed or Needs adjustment

- 🔧 6.5.1 + House External - + Garage/Carport: + Slab Cracking - Slight <2mm
- ⊖ 6.5.2 + House External - + Garage/Carport: Notable cobcrete/ wall gap
- ⊖ 6.7.1 + House External - + Fence / Gate: Unstable/Not Straight
- 🔧 6.7.2 + House External - + Fence / Gate: Mechanical Gate Not Tested
- ⊖ 6.7.3 + House External - + Fence / Gate: Damaged
- ⊖ 6.8.1 + House External - + Deck/Balcony: No floor waste to the balcony
- ⚠️ 6.8.2 + House External - + Deck/Balcony: Insufficient slope
- ⚠️ 6.9.1 + House External - + Balustrades: Loose/Unsecured
- ⊖ 6.10.1 + House External - + Eaves: Eaves - Damaged
- ⚠️ 6.11.1 + House External - + Trees: Near Foundation
- ⊖ 6.11.2 + House External - + Trees: Overhanging Roof
- ⊖ 6.11.3 + House External - + Trees: Touching The Roof
- ⊖ 6.12.1 + House External - + Mould: Mould noted
- ⚠️ 6.13.1 + House External - Sealants (External): Sealant Required
- ⚠️ 6.13.2 + House External - Sealants (External): Sealant failed/Degraded
- ⊖
- 7.2.1 + House Internal - General Painting Defects (Internal): + General painting defects noted (House Internal)
- ⊖ 7.3.1 + House Internal - General Cracks: Settlement Cracks to walls/ceiling/skirtings/architraves
- ⚠️ 7.4.1 + House Internal - General Tiling (Wall/Floor): Tile Damaged
- ⊖ 7.4.2 + House Internal - General Tiling (Wall/Floor): Grout maintenance/Re-grouting needed
- ⊖ 7.5.1 + House Internal - Doors: Sticks - Hard To Open/Close
- ⊖ 7.5.2 + House Internal - Doors: Door Stop Damaged/Missing
- ⊖ 7.5.3 + House Internal - Doors: Hardware Loose/unsecured/missing
- ⊖ 7.5.4 + House Internal - Doors: Not level - close/open without force
- ⚠️ 7.6.1 + House Internal - Windows: Opening Restriction (125mm) required - First floor
- ⊖ 7.7.1 + House Internal - Floors: Squeaking/Springy Floors
- ⚠️ 7.7.2 + House Internal - Floors: Water damage - suspicious for termite
- ⊖ 7.8.1 + House Internal - Walls/Ceiling Plaster: Minor Damage
- ⊖ 7.12.1 + House Internal - Cabinetry/Vanities/Through: Adjustment Required
- ⊖ 7.12.2 + House Internal - Cabinetry/Vanities/Through: Hardware rusty
- ⊖ 7.13.1 + House Internal - Benchtops: Damaged
- ⊖ 7.14.1 + House Internal - Ventilation: Exhaust Fan Inoperable
- ⊖ 7.19.1 + House Internal - Toilets: Water Runs continuously
- ⊖ 7.19.2 + House Internal - Toilets: Loose seat
- ⊖ 7.21.1 + House Internal - Sealants (Internal): Sealant Required
- ⊖ 7.21.2 + House Internal - Sealants (Internal): Sealant failed/Degraded
- ⚠️ 7.22.1 + House Internal - Water/Moisture Stain/Leak/Damage: Water/Moisture Damage
- ⊖ 7.23.1 + House Internal - Mould: Mould noted
- ⊖ 8.2.1 + Plumbing - General - Waste/Drain Pipes: Exposed Drain Pipe
- ⊖ 8.2.2 + Plumbing - General - Waste/Drain Pipes: Pipe leakage
- ⊖ 8.2.3 + Plumbing - General - Waste/Drain Pipes: Signs of previous water leak noted

-  9.2.1 + Electrical - General - + Safety/Hazard: + Serious Safety Hazard
-  9.4.1 + Electrical - General - + Lights/switches/downlights: Loose Switch/PowerPoints/Downlights
-  9.4.2 + Electrical - General - + Lights/switches/downlights: Improper installation
-  9.4.3 + Electrical - General - + Lights/switches/downlights: Light Not Operating
-  9.4.4 + Electrical - General - + Lights/switches/downlights: Cover Plate Missing
-  9.4.5 + Electrical - General - + Lights/switches/downlights: Old
-  10.1.1 TERMITE PEST INSPECTION - Termite Pest Activity: Active (live) termite NOT found
-  10.1.2 TERMITE PEST INSPECTION - Termite Pest Activity: Windows
-  10.2.1 TERMITE PEST INSPECTION - Out Building: Not inspected due to construction design
-  10.3.1 TERMITE PEST INSPECTION - Fungal decay: Wood Rot
-  10.4.1 TERMITE PEST INSPECTION - Conditions: Conductive Conditions

1: + INSPECTION DETAILS

Information

+ General: In Attendance Selling Agent	+ General: Occupancy Furnished	+ General: Weather Conditions Clear
+ General: Bedrooms 4	+ General: Bathrooms/Ensuites 2.5	+ General: Type of Building Residential
+ General: How Many Levels? Double Storey	+ General: Car Park Double	+ General: External Building Material Brick Veneer
+ General: Piers Brick	+ General: Estimated Building Age 2010's	+ General: Flooring Timber, Carpet
+ General: Windows Aluminium, Timber	+ General: Roof Metal	

Limitations

+ Limitations / Obstructions

+ REASONABLE ACCESS TO THE PROPERTY WAS RESTRICTED BY:

Boundry Walls Due to Being Built On Property Boundry, Roof Coverings, Ducts, Roof Space Due To Limited Crawl Space, Furnishings And Other Stored Goods, Height, Plaster, Furniture

Further Inspection and Reporting of these areas is Essential within 14 days once access has been obtained and prior to a Decision to Purchase to determine if any major defect/safety hazard exists in these areas/sections.

+ Limitations / Obstructions

+ ROOF SPACE:

Manhole size, Ducts

Further Inspection and Reporting of these areas is Essential within 14 days once access has been obtained and prior to a Decision to Purchase to determine if any major defect/safety hazard exists in these areas/sections.



+ Limitations / Obstructions

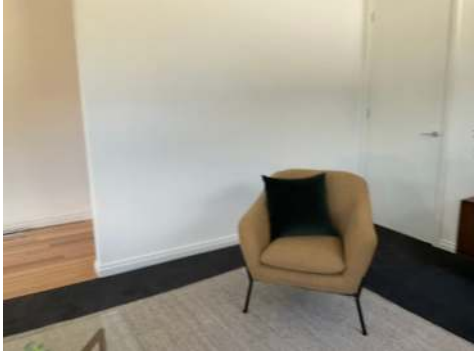
+ INTERNAL:

Furnitures, Furnishings, Walls and Ceiling Linings, Floor Covering, Cabinetry

Further Inspection and Reporting of these areas is Essential within 14 days once access has been obtained and prior to a Decision to Purchase to determine if any major defect/safety hazard exists in these areas/sections.









+ Limitations / Obstructions

+ **EXTERNAL:**

Height, Tick Vegetation, Stored Material, Locked gate/door

Further Inspection and Reporting of these areas is Essential within 14 days once access has been obtained and prior to a Decision to Purchase to determine if any major defect/safety hazard exists in these areas/sections.



+ Limitations / Obstructions

+ **ROOF EXTERNAL:**

Height

Further Inspection and Reporting of these areas is Essential within 14 days once access has been obtained and prior to a Decision to Purchase to determine if any major defect/safety hazard exists in these areas/sections.



Observation

1.3.1 + Views

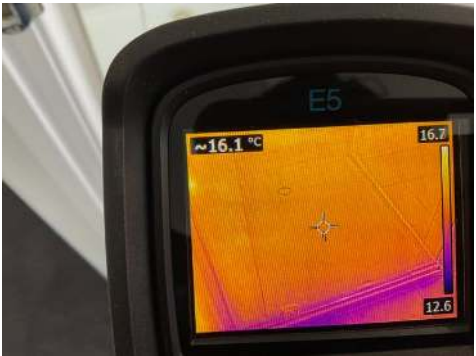
+ GENERAL VIEWS OF THE PROPERTY AT THE TIME OF THE INSPECTION

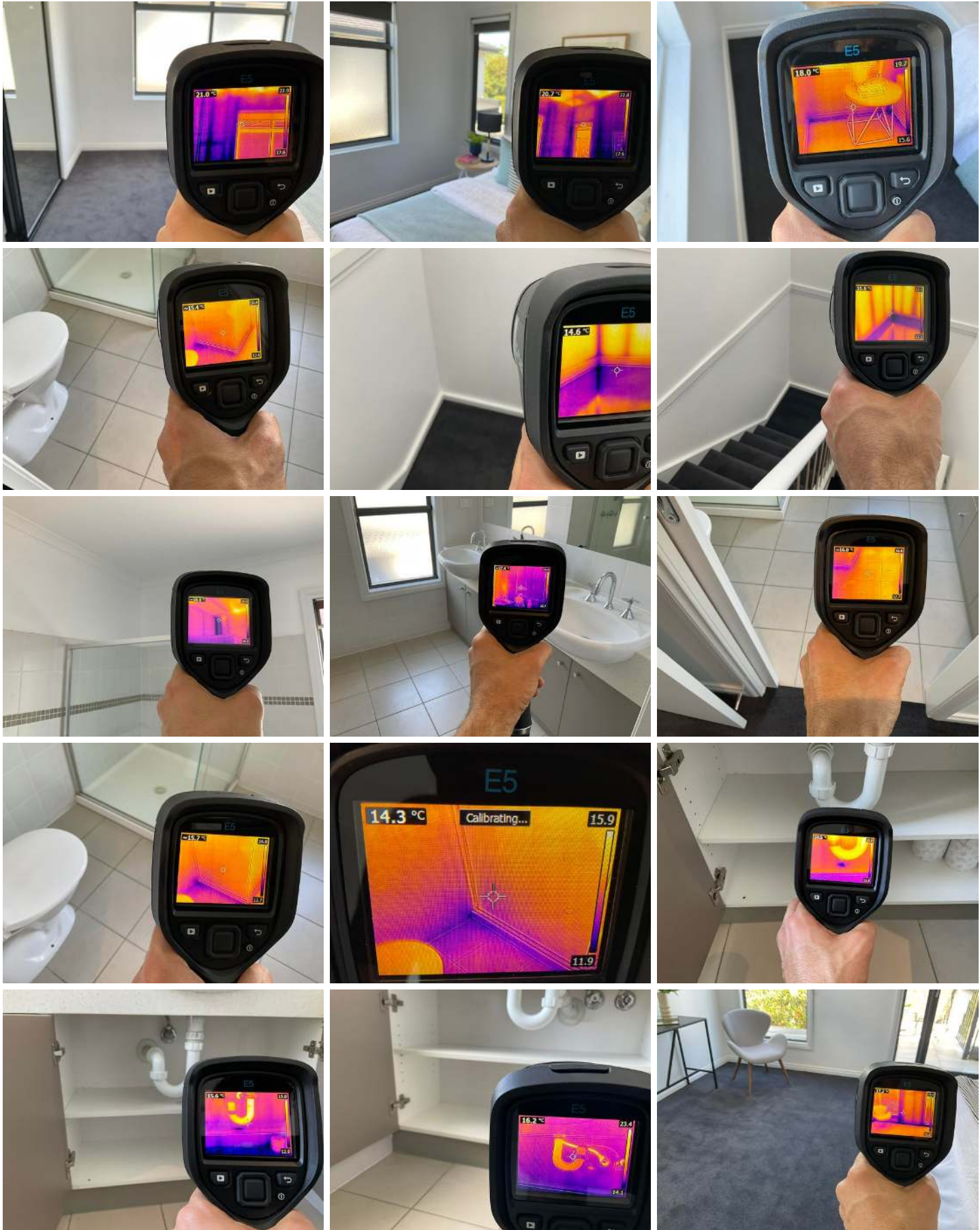
Recommendation

Contact a qualified professional.

Maintenance Item/Information Only











2: + INSPECTION SUMMARY NOTES

		V	A	B	C	D	E	F	U
2.1	+ Summary Condition								
V = Visually Fine A = Damage B = Distortion Warping Twisting C = Water penetration Damp related D = Material deterioration E = Operational F = Installations (including omissions) U = Unable to Inspect									

Observation

2.1.1 + Summary Condition

OVERALL CONDITION - BELOW AVERAGE

Defects

The overall condition of this Residential Dwelling in the context of its age, type and general expectations of similar properties is **Below Average**. The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Please Note: This is a general appraisal only and cannot be relied on its own – read the Report in its entirety.
This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own and must be read in conjunction with the full Report and not in isolation from the Report. If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

Recommendation
Contact a qualified professional.

3: + UTILITIES

		V	A	B	C	D	E	F	U
3.1	+ Utilities								
3.2	+ Hot Water Systems								

V = Visually Fine

A = Damage

B = Distortion Warping Twisting

C = Water penetration Damp related

D = Material deterioration

E = Operational

F = Installations (including omissions)

U = Unable to Inspect

Information

+ Utilities: ELECTRICITY

Connected, Not tested

All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The checking of any electrical item is outside the scope of this report. It's recommended that a licensed electrician be consulted for further advice. All phones, phone lines and outlets need to be inspected and reported on by a telecommunications technician. It's recommended that a telecommunications technician be consulted for further advice.

+ Utilities: Gas

Connected, Not tested

All gas services need to be inspected and reported on by a gas plumber. It's recommended that a licensed gas plumber be consulted for further advice.

+ Utilities: Mains Water

Connected, Not tested

All plumbing needs to be inspected and reported on by a plumber. It's recommended that a licensed plumber be consulted for further advice.

+ Utilities: Grey/Recycle Water

Unable to determine

All plumbing needs to be inspected and reported on by a plumber. It's recommended that a licensed plumber be consulted for further advice.

+ Utilities: Sewer

Connected, Not tested

All plumbing needs to be inspected and reported on by a plumber. It's recommended that a licensed plumber be consulted for further advice.

+ Utilities: Stormwater Drainage

Connected, Not tested

All plumbing needs to be inspected and reported on by a plumber. It's recommended that a licensed plumber be consulted for further advice.

+ Utilities: Smoke Detectors

Recommend having detectors tested/replaced by a qualified electrician, Not tested

Australian Standard AS 3786 - Advises that Smoke Detectors are required for all buildings where people sleep. It is recommended that an electrician be consulted to give advice on those installed or install these detectors.

Limitations

+ Hot Water Systems

OUT OF SCOPE OF WORK

All hot water services need to be inspected and reported on by a plumber and/or electrician. It's recommended that a licensed plumber and/or electrician be consulted for further advice.

Observation

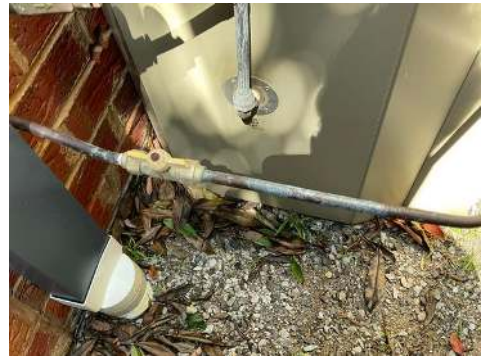
3.2.1 + Hot Water Systems

+ CORROSION

Corrosion was noted at the burn chamber or pipe fittings. Recommend a qualified plumber evaluate for repair/replacement.

Recommendation

Contact a qualified plumbing contractor.



4: + ROOF EXTERNAL

		V	A	B	C	D	E	F	U
4.1	+ General								
4.2	+ Roof Covering (Metal)								
4.3	+ Flashings								

V = Visually Fine A = Damage B = Distortion Warping Twisting C = Water penetration Damp related D = Material deterioration
E = Operational F = Installations (including omissions) U = Unable to Inspect

Information

+ General: Inspection Method	+ General: Roof Type/Style	+ Roof Covering (Metal): Material
Ladder	Flat	Metal

Limitations

+ Roof Covering (Metal)
FIRST FLOOR DUE TO HEIGHT

Observation

4.2.1 + Roof Covering (Metal)

Defects

DEBRIS

Debris noted on the roof which can reduce the effectiveness of roofing materials by reducing water flow and accelerated degradation by not allowing proper drying; not all areas may be shown. Recommend correction by removing debris and addressing the cause (usually tree overhang).

Recommendation
Contact a handyman or DIY project



4.2.2 + Roof Covering (Metal)

IMPROPER INSTALLATION

Roof coverings were improperly installed in noted areas.
Recommend correction by installing tiles properly.

Recommendation

Contact a qualified roofing professional.



4.2.3 + Roof Covering (Metal)



MOSS/ALGAE GROWTH ON THE ROOF

Moss and/or algae was noted growing on the roof coverings which accelerate the degradation of the material. Recommend growth is removed and source (likely tree limbs) is trimmed back from the roof area.

Recommendation
Contact a qualified professional.





4.2.4 + Roof Covering (Metal)

DENTED/DAMAGED/SCRATCHED



One or more dents were noted on the metal roof. Crimped or dented panels can lead to ponding water on your metal roof, which can be a direct cause of leaks and rust. Recommend a qualified roofing professional evaluate and repair.

Recommendation

Contact a qualified roofing professional.



4.2.5 + Roof Covering (Metal)



Defects

RUST/CORROSION

Metal rust/corrosion was found on the roof.

Surface rust can become a major problem if left untreated. Rust is a reddish or yellowish-brown flaky coating that is formed on iron or steel by oxidation, especially in the presence of moisture. When rusting occurs, the oxides expand and occupy more space than the original material. Most metal roofing is made of galvanized metal or is coated to prevent rust from occurring, but ponding water or heat from direct sunlight can both wear the roof's protection away over time. If left long enough, rust will eat through the majority of an iron roof, leaving holes big enough to allow rain to seepage into not only the roofing cavity but also the walls and stumps of your home. The integrity of your whole house could be compromised or irreparably water damaged. Monitoring for rust should be done at least as often as during semi-annual inspections; and a rust inhibitor, which forms a surface on panels, should be applied on any rust to stop it from forming in the future.

Recommendation

Contact a qualified professional.



4.2.6 + Roof Covering (Metal)

NEGATIVE/INSUFFICIENT GRADING

The roof has negative or insufficient grading towards the gutter/drainage which can cause water ponding/metal rust/ water damage.

Recommendation

Contact a qualified professional.

 Major Defects/Safety Hazards



4.3.1 + Flashings

LOOSE/SEPARATED

Flashing observed to be loose or separated, which can lead to water intrusion and/or moisture damage to underlying structure. Recommend replacing, repairing or refastening flashing.

 Defects



5: + RAINWATER DRAINAGE SYSTEM

		V	A	B	C	D	E	F	U
5.1	+ Gutter								
5.2	+ Downpipes								
5.3	+ Site Drainage								

V = Visually Fine

A = Damage

B = Distortion Warping Twisting

C = Water penetration Damp related

D = Material deterioration

E = Operational

F = Installations (including omissions)

U = Unable to Inspect

Information

+ Gutter: Gutter Material
Metal

+ Gutter: Downpipe Material
Metal

Observation

5.1.1 + Gutter

DEBRIS

Gutters in several areas have been blocked by debris, twigs and/or leaves. Cleaning is required to avoid ongoing leak issues and minimise the risk of overflowing into eave space and deterioration.

Recommendation

Contact a qualified professional.





5.2.1 + Downpipes

NOT CONNECTED TO THE STORMWATER SYSTEM

One or more downpipes is discharging onto the ground and requires a connection to a drainage system.
Discharging water onto the ground will increase the risk of termite attack.

Recommendation

Contact a qualified professional.

 Defects



5.2.2 + Downpipes

NOT SECURED

Defects

One or more downpipes are not secured to the cladding and need proper fixing. All downpipes must be secured properly as instructed in AS HB 39:2015.

<https://www.standards.org.au/>

Guide to standards and tolerances 2015:

7.05 Fixing of gutters and downpipes

Gutters and downpipes are defective if they are not securely fixed.

5.7.6 Downpipes

For the installation of downpipes, see AS/NZS 3500.3. In addition, for best practice, the following are to be observed:

- (a) *Connection* Downpipes to be connected to the base of rainheads or sumps.
- (b) *Internal gutters* Downpipes from internal gutters to be connected to sumps with appropriate overflow provision, or discharged into external rainheads with appropriate overflow provision.
- (c) *Fastening* Downpipes to be securely fastened to walls and structures so as to withstand movement due to thermal expansion or weight due to a partial or total blockage.
- (d) *Spacing* Downpipe brackets to be spaced at intervals not exceeding 2 m vertically and 1 m on a slope (see Figure 5.7.6).

NOTE: Support systems for metal downpipes should comply with AS/NZS 2179.1.

@Australian Standards - <https://www.standards.org.au/>

Recommendation

Contact a qualified professional.





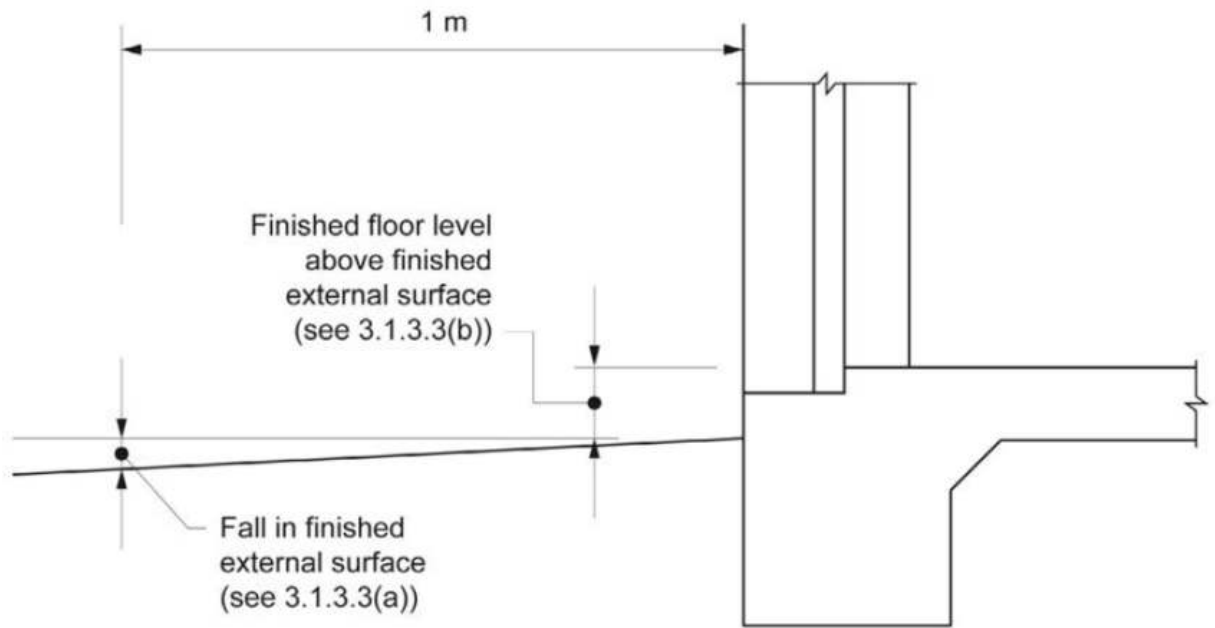
5.3.1 + Site Drainage

NEGATIVE GRADING

 Major Defects/Safety Hazards

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues. It put the building in the risk of termite attack. Recommend ensuring proper drainage was installed to facilitate water movement away from home.

Figure 3.1.3.2 Site surface drainage





5.3.2 + Site Drainage

SILT PIT - DEBRIS/SOIL INSIDE

Debris and/or soil noted in the silt pits. It can cause stormwater system blockage and water damaged to the property.

Recommendation

Contact a qualified professional.



6: + HOUSE EXTERNAL

		V	A	B	C	D	E	F	U
6.1	General								
6.2	+ Cladding (Masonry)								
6.3	+ Claddings (Timber, Render, Hebel, Others)								
6.4	+ Doors and Windows (External)								
6.5	+ Garage/Carport								
6.6	+ Driveways/Paths/Porch								
6.7	+ Fence / Gate								
6.8	+ Deck/Balcony								
6.9	+ Balustrades								
6.10	+ Eaves								
6.11	+ Trees								
6.12	+ Mould								
6.13	Sealants (External)								

V = Visually Fine A = Damage B = Distortion Warping Twisting C = Water penetration Damp related D = Material deterioration
E = Operational F = Installations (including omissions) U = Unable to Inspect

Information

+ Cladding (Masonry): Cladding Material Brick Veneer	+ Claddings (Timber, Render, Hebel, Others): Cladding Material Render	+ Doors and Windows (External): Entry Door Timber
+ Driveways/Paths/Porch: Driveway Material Concrete		

Observation

6.2.1 + Cladding (Masonry)

CLADDING/GROUND (SOIL) CLEARANCE REQUIRED - MIN 150MM

Major Defects/Safety Hazards

The clearance between the bottom of the wall cladding and the ground must be a minimum of 150mm to protect the house from rising moisture and termite attack.

3.5.4.7 Clearance between cladding and ground

- (a) The minimum clearance from the bottom of the wall cladding to the adjoining finished ground level must be—
- (i) 100 mm in *low rainfall intensity areas* or sandy, well-drained areas; or
 - (ii) 50 mm above impermeable (paved or concreted) areas that slope away from the building in accordance with [3.1.3.3\(a\)](#); or
 - (iii) 150 mm in any other case.
- (b) Wall cladding must extend a minimum of 50 mm below the bearer or lowest horizontal part of the suspended floor framing.

Recommendation

Contact a qualified professional.



6.2.2 + Cladding (Masonry)

CRACKING - MAJOR - CATEGORY 3 (5MM - 15MM)

Major Defects/Safety Hazards

Brick and/or stone veneer showed cracking in one or more places. Cracks are wide enough to allow moisture intrusion to the supportive wall leading to internal and termite damage.

A Structural Engineer is required to determine the significance of the cracking prior to a decision to purchase or settlement. Regardless of the appearance of the cracks a Pre Purchase Building Inspector carrying out a Pre Purchase Inspection within the scope of a visual inspection is unable to determine the expected consequences of the cracks.

AS 4349.1—2007

28

TABLE E1
CATEGORISATION OF CRACKING IN MASONRY

Description of typical damage and required repair	Width limit	Damage category
Hairline cracks	≤0.1 mm	0
Fine cracks that do not need repair	≤1.0 mm	1
Cracks noticeable but easily filled Doors and windows stick slightly	≤5.0 mm	2
Cracks can be repaired and possibly a small amount of wall will need to be replaced. Door and windows stick service pipes can fracture. Weather-tightness often impaired.	>5.0 mm, ≤15.0 mm (or a number of cracks 3.0 mm or more in one group)	3
Extensive repair work involving breaking out and replacing sections of walls, especially over doors and windows. Doorframes distort. Walls lean or bulge noticeably, some loss of bearing in beams. Service pipes disrupted.	>15.0 mm, ≤25 mm but also depends on number of cracks	4

Recommendation
Contact a qualified professional.



Garage Front





6.2.3 + Cladding (Masonry)

RISING DAMP

Rising damp is evident to the base of some or all masonry walls/fences. Damp-proof coursing materials may not be installed, may have been breached or may have deteriorated.

Recommendation

Contact a qualified professional.

Major Defects/Safety Hazards



6.2.4 + Cladding (Masonry)

SEALANT RECOMMENDED

One or more areas need sealant to ensure protection from water and moisture penetration.

Recommendation

Contact a qualified professional.



6.2.5 + Cladding (Masonry)

MORTAR BLOW OUT

Recommendation

Contact a qualified professional.



6.3.1 + Claddings (Timber, Render, Hebel, Others)



Defects

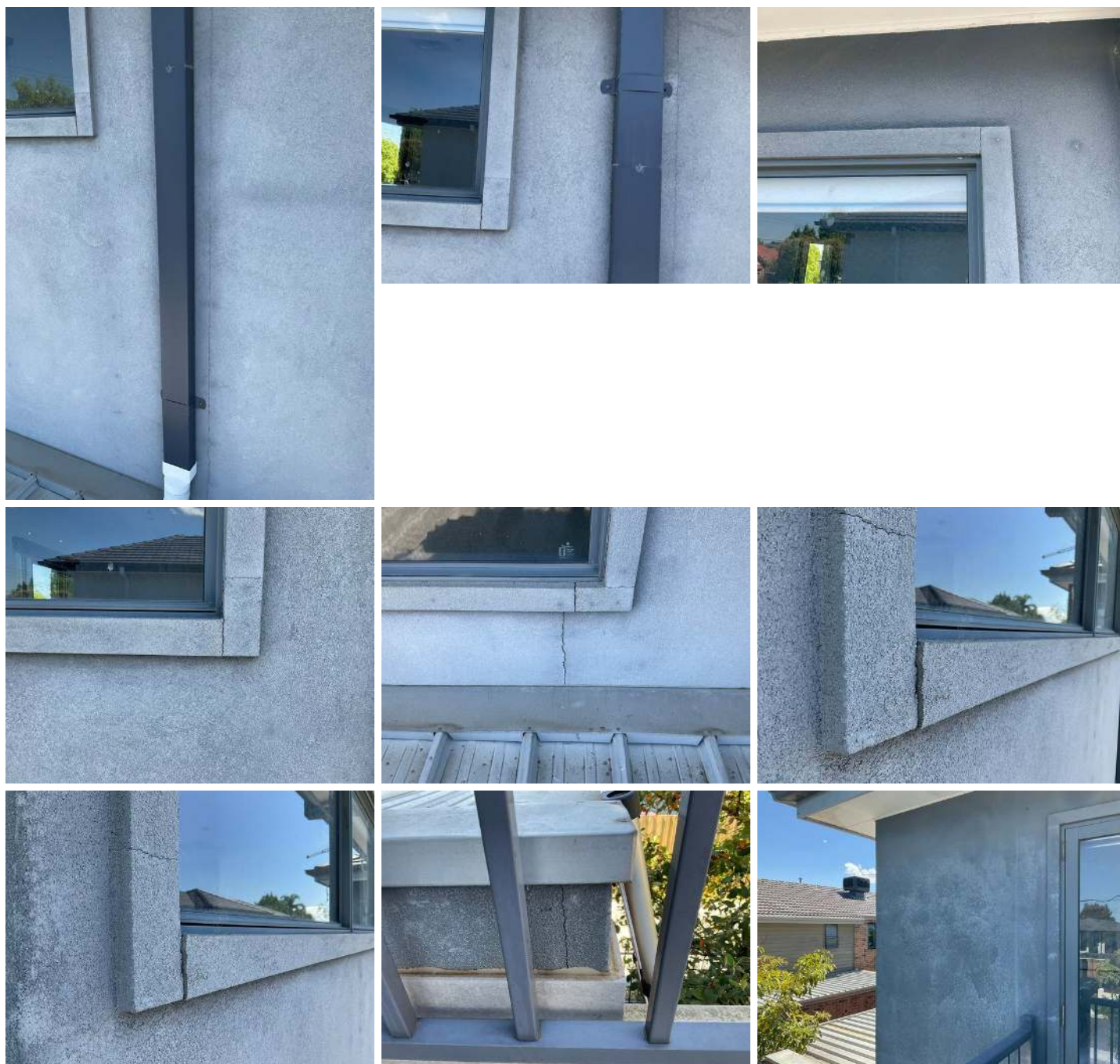
CRACKING - MODERATE

Moderate movement in the external wall is evident.

A Structural Engineer is required to determine the significance of the cracking prior to a decision to purchase or settlement. Regardless of the appearance of the cracks a Pre Purchase Building Inspector carrying out a Pre Purchase Inspection within the scope of a visual inspection is unable to determine the expected consequences of the cracks.

Recommendation

Contact a qualified professional engineer





6.3.2 + Claddings (Timber, Render, Hebel, Others)



CLADDING RE-PAINTING/RESEALING REQUIRED

The cladding on most of the home needs to be sealed/painted/stained to extend the longevity of the protective timber.

Recommendation

Contact a qualified professional.



6.4.1 + Doors and Windows (External)

DOOR/HARDWARE DAMAGED



One or more pieces of door hardware are damaged.



6.4.2 + Doors and Windows (External)

RUSTING



Rust is present in some external windows/doors. This will require treating and re painting.

Recommendation

Contact a qualified professional.



6.4.3 + Doors and Windows (External)



UNDER WINDOW FLASHING - NOT INSTALLED OR NEEDS ADJUSTMENT

One or more windows flashings noted missed, damaged or need adjustment to prevent the rain water from entering the wall cavity.

Recommendation

Contact a qualified professional.



+ **SLAB CRACKING - SLIGHT <2MM**

The slab has various cracks within the tolerance limit of 2mm.

A Structural Engineer is required to determine the significance of the cracking prior to a decision to purchase or settlement.

2.10 Cracks in concrete slabs

Refer to Table 2.10 for descriptions of categories of cracks.

Cracks to slabs are defective where they are Category 3 and 4.

Category 1 and 2 cracks to slabs are to be monitored for a period of 12 months.

At the end of the monitoring period, cracks are defective if they are greater than category 2 and attributed to the actions of the builder.

TABLE 2.10 CLASSIFICATION OF DAMAGE TO CONCRETE FLOORS

Description of typical damage	Approximate crack width limit in floor	Change in offset from 3 m straight edge placed over defect	Damage category
Hairline cracks, insignificant movement of slab from level	< 0.3 mm	< 8 mm	0 Negligible
Fine but noticeable cracks. Slab reasonably level	< 1.0 mm	< 10 mm	1 Very slight
Distinct cracks. Slab noticeably curved or changed in level	< 2.0 mm	< 15 mm	2 Slight
Wide cracks. Obvious curvature or change in level	2 mm to 4 mm	15 mm to 25 mm	3 Moderate
Gaps in slab. Disturbing curvature or change in level	4 mm to 10 mm	> 25 mm	4 Severe

Taken from AS 2870: Residential slabs and footings – Construction, Table C2: Classification of damage with reference to concrete floors. Reproduced with permission from SAI Global Ltd under Licence 1407-c122.

Recommendation

Contact a qualified professional.



6.5.2 + Garage/Carport

NOTABLE COBCRETE/ WALL GAP

Recommendation

Contact a qualified professional.



6.7.1 + Fence / Gate

UNSTABLE/NOT STRAIGHT

The fence is not stable and/or straight in one or more areas. Fixing required ASAP for safety matters.

Recommendation

Contact a qualified professional.




6.7.2 + Fence / Gate

MECHANICAL GATE NOT TESTED

The operation of the mechanical gate was not checked at the time of inspection. Recommend systems be inspected by an appropriately qualified contractor.

Recommendation

Contact a qualified professional.

 Maintenance Item/Information Only

6.7.3 + Fence / Gate

DAMAGED

Recommendation

Contact a qualified professional.

 Defects



6.8.1 + Deck/Balcony

NO FLOOR WASTE TO THE BALCONY

 Defects

There is no floor waste to the balcony.

Recommendation

Contact a qualified professional.



6.8.2 + Deck/Balcony

INSUFFICIENT SLOPE

The balcony floor must have the minimum of 2 degrees of slope to allow water drains fast to prevent water stopping and leaking.

Recommendation

Contact a qualified professional.

 Major Defects/Safety Hazards

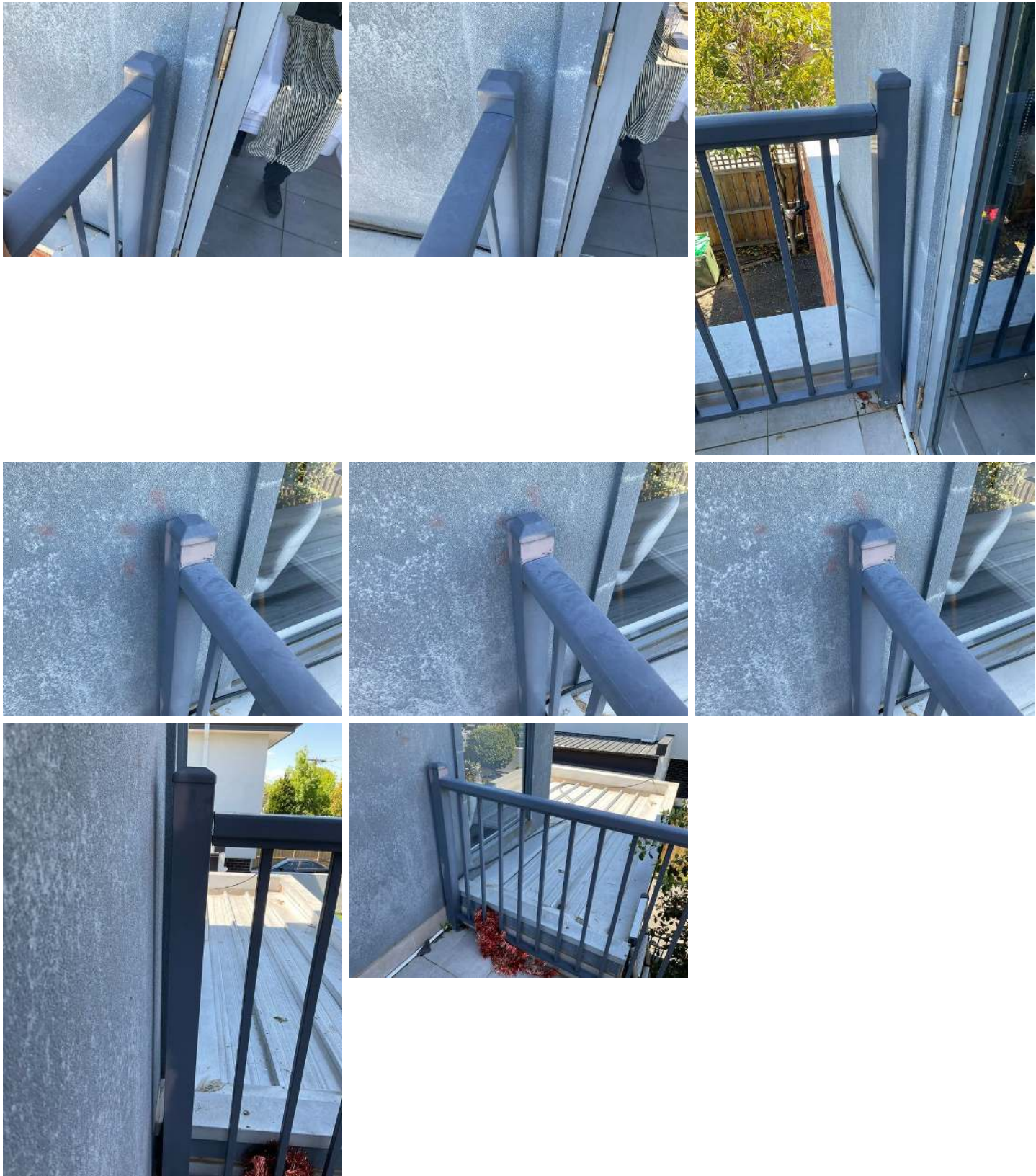


6.9.1 + Balustrades
LOOSE/UNSECURED

 Major Defects/Safety Hazards

The balustrade is loose and needs fixing ASAP. Safety Hazard.

Recommendation
Contact a qualified professional.



6.10.1 + Eaves

EAVES - DAMAGED



One or more sections of the eaves are damaged.

Recommendation

Contact a qualified professional.

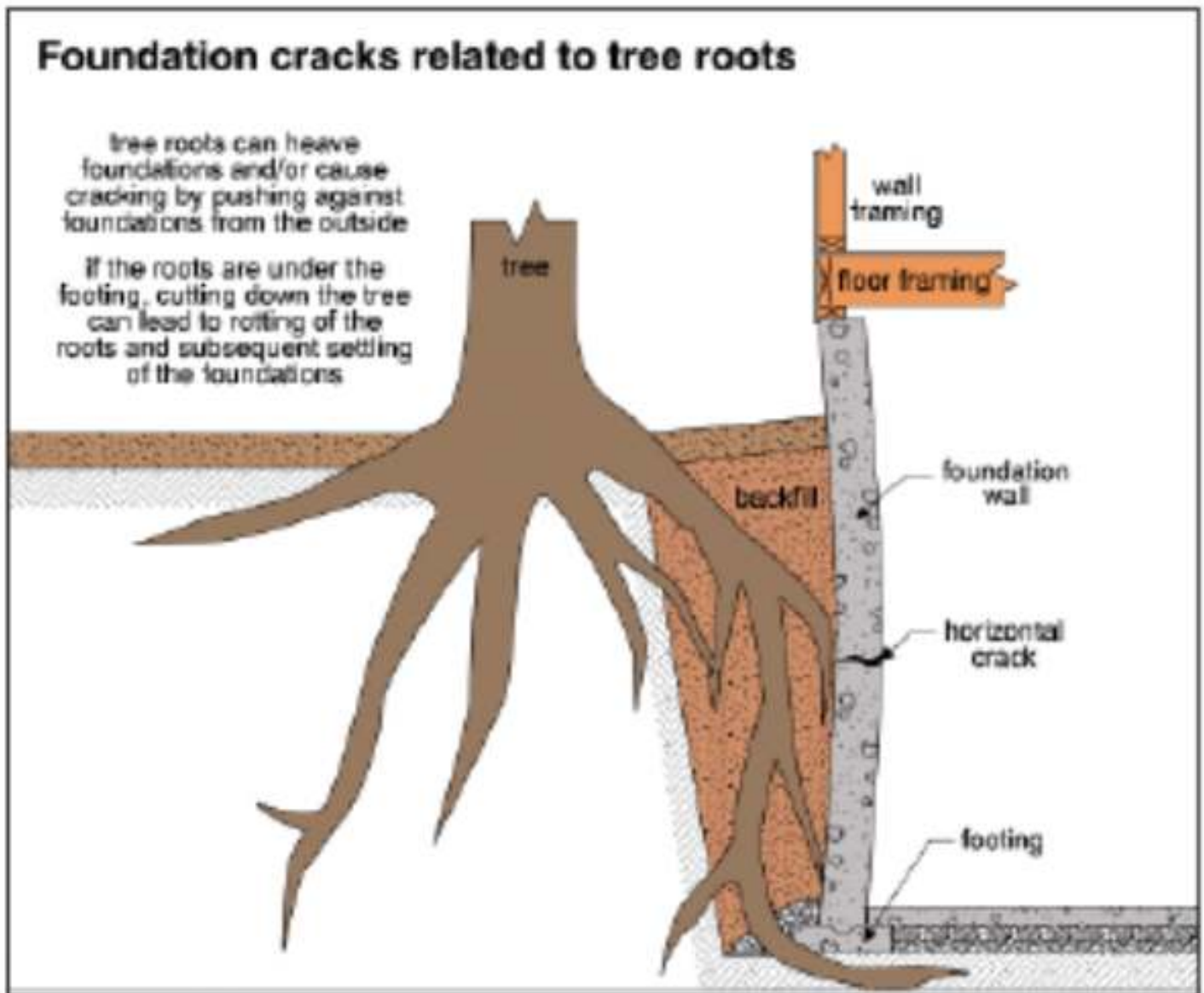


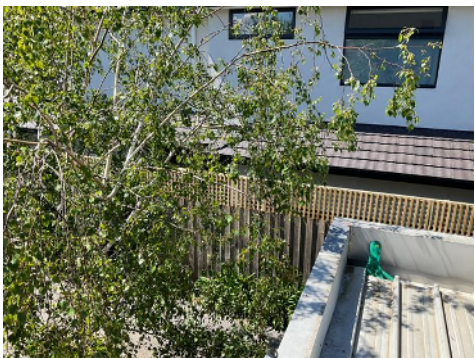
6.11.1 + Trees

NEAR FOUNDATION

Major Defects/Safety Hazards

Trees were noted next to foundation areas. Tree roots next to foundation walls can damage foundations by heaving or pushing inward from the outside. For slabs, tree roots can grow underneath pushing concrete up causing cracks.







6.11.2 + Trees



OVERHANGING ROOF

Trees were overhanging the roof in noted locations which drops debris onto coverings. This could lead to premature aging of roof coverings by not allowing surfaces to dry as quick by holding moisture. Recommend cutting back from roof surfaces.

Recommendation

Contact a qualified tree service company.



6.11.3 + Trees

TOUCHING THE ROOF



Tree overhang noted touching portions of the roof, which allows for debris from the tree and wildlife to accumulate on coverings and in gutters/guards. The tree will rub roof covering causing damage and tiles will not dry as fast which can reduce lifespan. It also increases the chance of termite attack. Recommend professional tree cutting service cut back limbs overhanging roof.

Recommendation

Contact a qualified tree service company.



6.12.1 + Mould

MOULD NOTED



Growing Moulds were found in one or more areas.

Mould in buildings can be visible or hidden, but it is generally an indication of a defect such as thermal bridging, condensation, leaks or penetrating or rising dampness. Moulds produce allergens (substances that can cause an allergic reaction), irritants and, sometimes, toxic substances. Inhaling or touching mould spores may cause an allergic reaction, such as sneezing, a runny nose, red eyes and skin rash. Moulds can also cause asthma attacks.

Inspector recommends contacting mould removalist contractors.

Recommendation

Contact a qualified professional.



6.13.1 Sealants (External)

SEALANT REQUIRED

Sealant required to several areas.

Recommendation

Contact a qualified professional.

 Major Defects/Safety Hazards





6.13.2 Sealants (External)

SEALANT FAILED/DEGRADED

Major Defects/Safety Hazards

The sealant was old and had sections of sealant were missing/degraded, which may allow damage from moisture intrusion of the wall assembly. The Inspector recommends correction by a qualified contractor.

Recommendation

Contact a qualified professional.





7: + HOUSE INTERNAL

		V	A	B	C	D	E	F	U
7.1	General								
7.2	General Painting Defects (Internal)								
7.3	General Cracks								
7.4	General Tiling (Wall/Floor)								
7.5	Doors								
7.6	Windows								
7.7	Floors								
7.8	Walls/Ceiling Plaster								
7.9	Stairs								
7.10	Balustrades								
7.11	Appliances								
7.12	Cabinetry/Vanities/Through								
7.13	Benchtops								
7.14	Ventilation								
7.15	Shower Screen	X							
7.16	Sink/Basins	X							
7.17	Bathtub	X							
7.18	Splashback	X							
7.19	Toilets								
7.20	Mirrors/Glazing	X							
7.21	Sealants (Internal)								
7.22	Water/Moisture Stain/Leak/Damage								
7.23	Mould								

V = Visually Fine A = Damage B = Distortion Warping Twisting C = Water penetration Damp related D = Material deterioration
E = Operational F = Installations (including omissions) U = Unable to Inspect

Information

Windows: Window Type
Timber, Aluminium

Floors: Floor Coverings
Timber, Carpet

Walls/Ceiling Plaster: Wall
Material
Plaster

Appliances: Appliances Photos

General views of appliances (Cooktop, Oven, Microwave, Rangehood, Dishwasher)





Limitations

Appliances

NOT TESTED

The appliances were not tested. Testing the appliances is out of the scope of the work of building inspection.

Shower Screen

GLASS CERTIFICATION

Inspector cannot confirm if the shower screen glass is certified or not. The vendor to provide the certificate of the shower glass to the purchaser.

Observation

7.2.1 General Painting Defects (Internal)



+ GENERAL PAINTING DEFECTS NOTED (HOUSE INTERNAL)

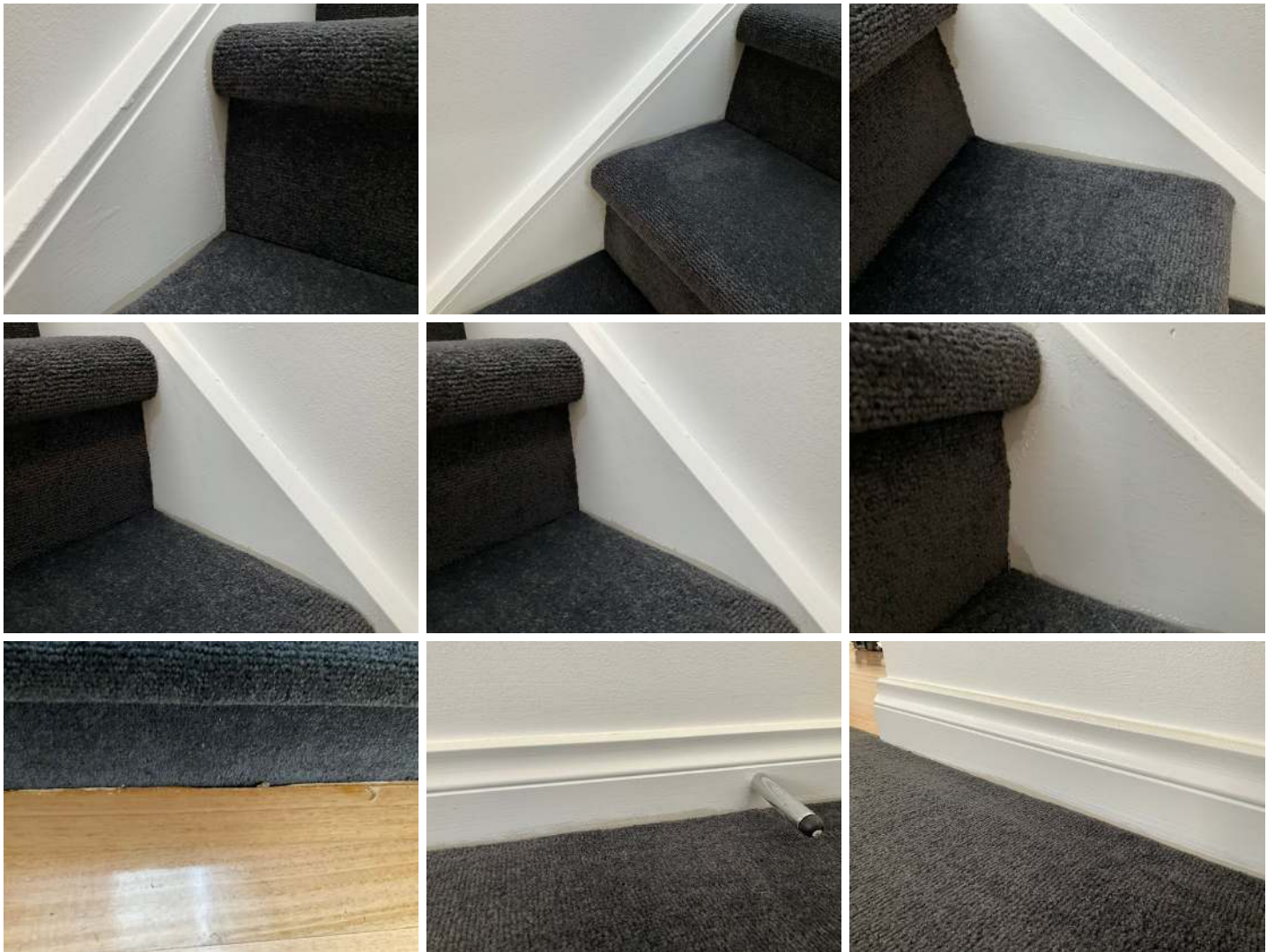
Several paint deterioration/defects were found. Photos may not be showing all relevant areas. Repainting to such areas is recommended to maintain the members lifespan.

12.02 Surface finish of paintwork

Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position.

Paintwork is defective if the application results in excessive over-painting of fittings, trims, skirtings, architraves, glazing and other finished edges.

Recommendation
Contact a qualified professional.





7.3.1 General Cracks

SETTLEMENT CRACKS TO WALLS/CEILING/SKIRTINGS/ARCHITRAVES



Several cracks were noted on the walls/skirtings/cornices throughout the dwelling which can be due to house settlement. Recommend to get an engineering assessment.

Please note: the photos may not showing all the existing cracks.



Recommendation

Contact a qualified professional.

7.4.1 General Tiling (Wall/Floor)

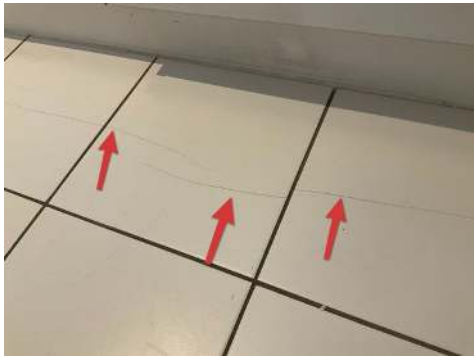
TILE DAMAGED

Floor tile damaged/broken/cracked.

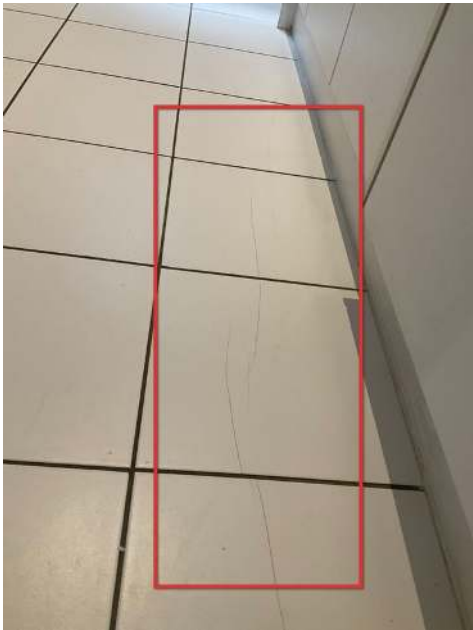
Recommendation

Contact a qualified professional.

 Major Defects/Safety Hazards



Laundry



Laundry

7.4.2 General Tiling (Wall/Floor)

GROUT MAINTENANCE/RE-GROUTING NEEDED

 Defects

Grout in the shower needed a maintenance at the time of the inspection. The inspector recommends correction by qualified professional.

Recommendation

Contact a qualified tile contractor



7.5.1 Doors

STICKS - HARD TO OPEN/CLOSE

The door sticks and is hard to open/close. It can be due to the house settlement or misadjustment.



7.5.2 Doors

DOOR STOP DAMAGED/MISSING

One or more doorstops noted damaged/missed which is allowing or will allow door hardware to strike the wall causing damage.



7.5.3 Doors

HARDWARE LOOSE/UNSECURED/MISSING

The hardware was loose/unsecured/missed.

Recommendation

Contact a handyman or DIY project



7.5.4 Doors

NOT LEVEL - CLOSE/OPEN WITHOUT FORCE

Recommendation

Contact a qualified professional.



Laundry

7.6.1 Windows



Major Defects/Safety Hazards

OPENING RESTRICTION (125MM) REQUIRED - FIRST FLOOR

The first-floor bedroom windows must have an opening restriction of 125mm to prevent the child from falling down.



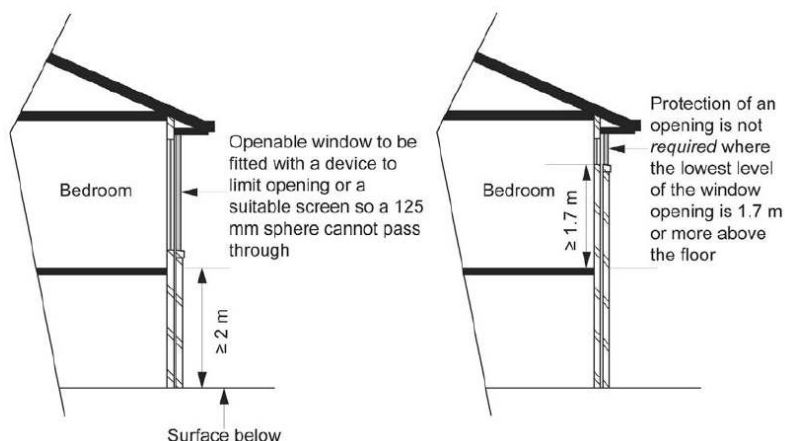
3.9.2.6 Protection of openable windows — bedrooms

- (a) A window opening in a bedroom must be provided with protection, where the floor below the window is 2 m or more above the surface beneath.
- (b) Where the lowest level of the window opening covered by (a) is less than 1.7 m above the floor, the window opening must comply with the following:
 - (i) The openable portion of the window must be protected with—
 - (A) a device capable of restricting the window opening; or
 - (B) a screen with secure fittings.
 - (ii) A device or screen *required* by (i) must—
 - (A) not permit a 125 mm sphere to pass through the window opening or screen; and
 - (B) resist an outward horizontal action of 250 N against the—
 - (aa) window restrained by a device; or
 - (bb) screen protecting the opening; and
 - (C) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.
- (c) Where a device or screen provided in accordance with (b)(i) is able to be removed, unlocked or overridden, a barrier with a height not less than 865 mm above the floor is *required* to the openable window in addition to window protection.
- (d) A barrier covered by (c) must not—
 - (i) permit a 125 mm sphere to pass through it; and
 - (ii) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing (see Figure 3.9.2.5).

3.9.2.7 Protection of openable windows — rooms other than bedrooms

- (a) A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4 m or more above the surface beneath.
- (b) The openable part of the window covered by (a) must be protected with a barrier with a height of not less than 865 mm above the floor.
- (c) A barrier *required* by (b) must not—
 - (i) permit a 125 mm sphere to pass through it; and
 - (ii) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing.
 (See Figure 3.9.2.6)

Figure 3.9.2.5 Protection of openable windows—bedrooms



Contact a qualified professional.

7.7.1 Floors

 Defects

SQUEAKING/SPRINGY FLOORS

Several areas of the floor are squeaking/springy when walking over. The photos may not be showing all areas.

14.06 Squeaking floors

Floors that consistently squeak by a person walking normally in a trafficable area within the first 24 months from handover are defective.

14.07 Springy floors

Floors that bounce in a way that can be detected by a person walking normally in a trafficable area are defective if the substructure has not been constructed in accordance with the Building Code of Australia and AS 1684.

Recommendation
Contact a qualified professional.



7.7.2 Floors

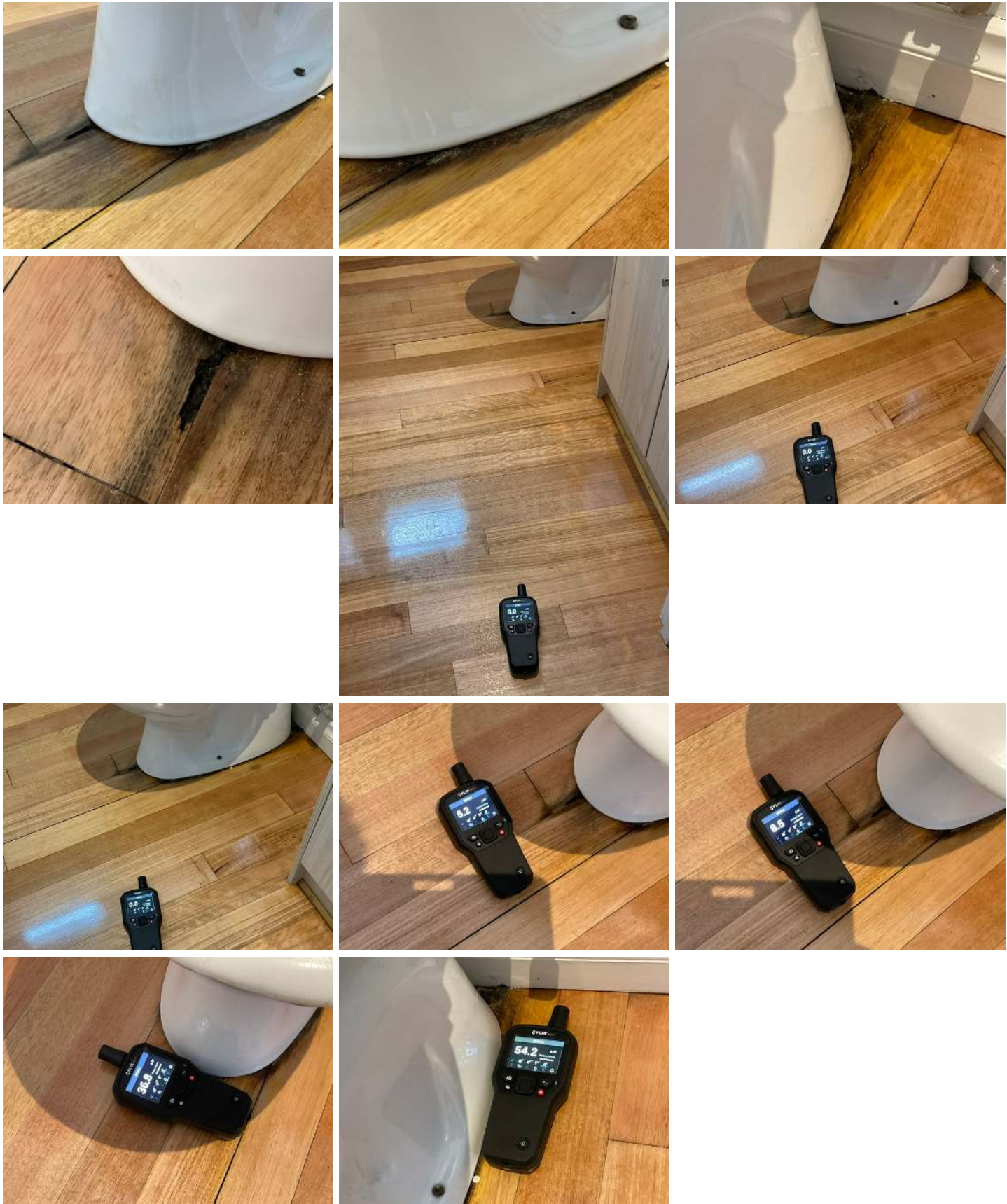
WATER DAMAGE - SUSPICIOUS FOR TERMITE

 Major Defects/Safety Hazards

Hollow section flooring. Moisture detected. Toilet leaks. Risk of termite attack presents.

Recommendation

Contact a qualified professional.



7.8.1 Walls/Ceiling Plaster

MINOR DAMAGE

Minor damage or deterioration to the wall/ceiling was visible at the time of the inspection.

Recommendation

Contact a qualified professional.



7.12.1 Cabinetry/Vanities/Through

ADJUSTMENT REQUIRED

Maintenance and adjustments should be considered to doors/drawers to provide smooth operation.

Recommendation

Contact a qualified professional.



7.12.2 Cabinetry/Vanities/Through

HADWARE RUSTY

Recommendation

Contact a qualified professional.



7.13.1 Benchtops

DAMAGED

Damage is present to the benchtop and repair or replacement will be required.

Recommendation

Contact a qualified professional.



Defects



7.14.1 Ventilation

EXHAUST FAN INOPERABLE

Exhaust fan was inoperable. Recommend a qualified contractor repair.

Recommendation

Contact a qualified appliance repair professional.



Defects



Laundry

7.19.1 Toilets

WATER RUNS CONTINUOUSLY

The toilet ran continuously at the time of the inspection. This usually indicates a failed flapper valve, the need for float mechanism adjustment or water leaking from the water tank into the bowl. Under some conditions, in homes with water supplied from a well, this condition can result in running the well dry and burning out the pump, requiring an expensive repair. You should be diligent in maintaining toilet tank mechanisms in the future to avoid pump damage.

Recommendation

Contact a qualified professional.



Defects



7.19.2 Toilets

LOOSE SEAT

The toilet seat was loose.

Recommendation

Contact a qualified professional.



Defects



7.21.1 Sealants (Internal)



SEALANT REQUIRED

Sealant required to several areas.

Recommendation

Contact a qualified professional.

7.21.2 Sealants (Internal)

**SEALANT FAILED/DEGRADED**

The sealant was old and had sections of sealant were missing/degraded, which may allow damage from moisture intrusion of the wall assembly. The Inspector recommends correction by a qualified contractor.

Recommendation

Contact a qualified professional.





7.22.1 Water/Moisture Stain/Leak/Damage

WATER/MOISTURE DAMAGE

Major Defects/Safety Hazards

Stains on the walls visible at the time of the inspection appeared to be the result of moisture intrusion. The source of moisture may have been corrected. Recommend further examination by a qualified contractor to provide confirmation.

Recommendation

Contact a qualified professional.



Master Bedroom



Master Bedroom



Master Bedroom



Master Bedroom



Master Bedroom



Master Bedroom

7.23.1 Mould

MOULD NOTED

Defects

Growing Moulds were found in one or more areas.

Mould in buildings can be visible or hidden, but it is generally an indication of a defect such as thermal bridging, condensation, leaks or penetrating or rising dampness. Moulds produce allergens (substances that can cause an allergic reaction), irritants and, sometimes, toxic substances. Inhaling or touching mould spores may cause an allergic reaction, such as sneezing, a runny nose, red eyes and skin rash. Moulds can also cause asthma attacks.

Inspector recommends contacting mould removalist contractors.

Recommendation

Contact a qualified professional.



8: + PLUMBING - GENERAL

		V	A	B	C	D	E	F	U
8.1	General								
8.2	Waste/Drain Pipes								
8.3	Water Pipes, Tapware & Fixture								

V = Visually Fine A = Damage B = Distortion Warping Twisting C = Water penetration Damp related D = Material deterioration
E = Operational F = Installations (including omissions) U = Unable to Inspect

Limitations

General

OUT OF SCOPE OF WORK

The inspection of the plumbing system is out of the scope of the work of building inspection (AS4349.1-2007).

The inspector tried to comment on the general plumbing to the limit of his/her knowledge and experience only and it is not deemed as the inspector's formal comment.

All plumbing needs to be inspected and reported on by a plumber. It's recommended that a licensed plumber be consulted for further advice.

Observation

8.2.1 Waste/Drain Pipes

EXPOSED DRAIN PIPE

Exposed discharge lines are more prone to damage from normal activity. Recommend burying line with soil ensuring you leave clean-out exposed.



8.2.2 Waste/Drain Pipes

**PIPE LEAKAGE**

One or more pipe(s) were noted leaking at the time of inspection. Plumber to fix it ASAP to prevent any possible water damage to the house.

Recommendation

Contact a qualified professional.

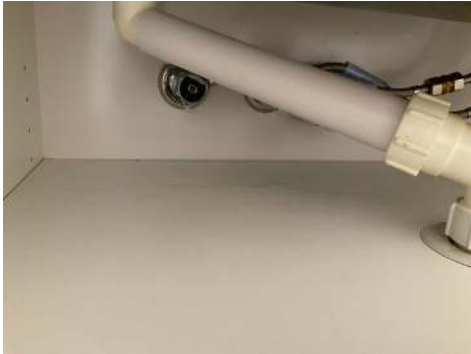


8.2.3 Waste/Drain Pipes

SIGNS OF PREVIOUS WATER LEAK NOTED

Recommendation

Contact a qualified professional.



9: + ELECTRICAL - GENERAL

		V	A	B	C	D	E	F	U
9.1	General								
9.2	+ Safety/Hazard								
9.3	+ Smoke Detectors								
9.4	+ Lights/switches/downlights								

V = Visually Fine

A = Damage

B = Distortion Warping Twisting

C = Water penetration Damp related

D = Material deterioration

E = Operational

F = Installations (including omissions)

U = Unable to Inspect

Limitations

General

OUT OF SCOPE OF WORK

All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The checking of any electrical item is outside the scope of this Report. It's recommended that a licensed electrician be consulted for further advice.

+ Smoke Detectors

+ INSTALLED BUT NOT TESTED

Smoke detectors are visually identified as installed, yet not tested (Out of building inspection scope of work). **Recommend changing the batteries when you take possession of the property and every 6 months afterwards.** You will want to test them monthly. Detectors older than 10 years should be replaced.

Observation

9.2.1 + Safety/Hazard

+ SERIOUS SAFETY HAZARD

Major Defects/Safety Hazards

Evidence of one or more safety hazard related items was noted during the inspection. These items are to be inspected by a qualified electrician for a proper investigation and repair.

Recommendation

Contact a qualified professional.



9.4.1 + Lights/switches/downlights

Defects

**LOOSE
SWITCH/POWERPOINTS/DOWNLIGHTS**

One or more switch/light/powerpoints were loose. To eliminate safety hazards, all powerpoints/switches/lights should be fixed by a qualified electrician.

Recommendation

Contact a qualified professional.



9.4.2 + Lights/switches/downlights

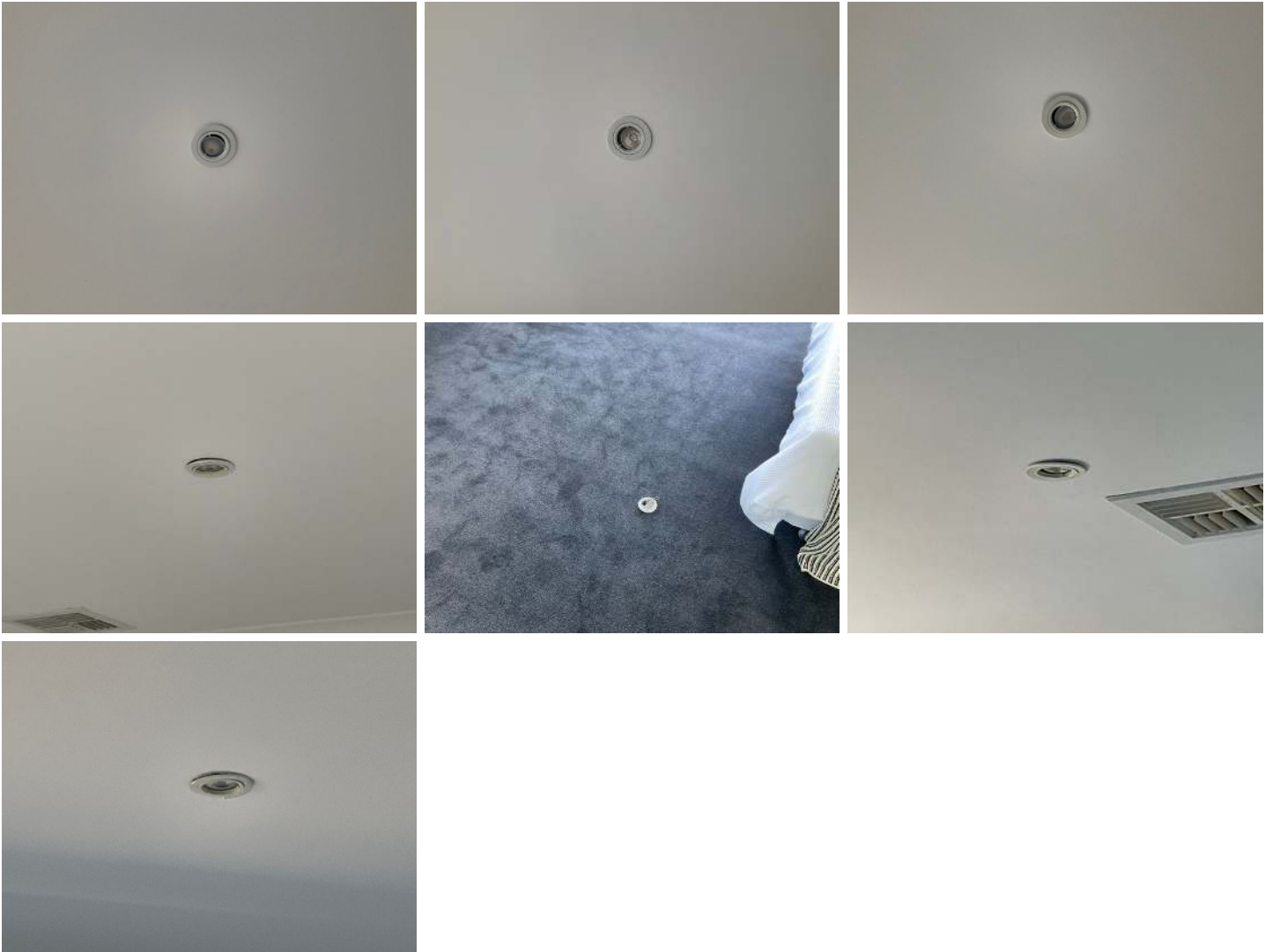
Defects

IMPROPER INSTALLATION

One or more lights were installed improperly at the time of inspection. Recommend licensed electrician repair or replace.

Recommendation

Contact a qualified professional.



9.4.3 + Lights/switches/downlights

LIGHT NOT OPERATING

One or more lights are not operating.

Recommendation

Contact a qualified electrical contractor.



Defects



9.4.4 + Lights/switches/downlights

COVER PLATE MISSING

One or more powerpoints/switches are missing a cover plate. This causes short and shock risk. Recommend installation of plates.

Recommendation

Contact a qualified professional.



Defects



9.4.5 + Lights/switches/downlights

OLD

Recommendation

Contact a qualified professional.



Defects



10: TERMITE PEST INSPECTION

		V	A	B	C	D	E	F	U
10.1	Termite Pest Activity								
10.2	Out Building								
10.3	Fungal decay								
10.4	Conditions								

V = Visually Fine

A = Damage

B = Distortion Warping Twisting

C = Water penetration Damp related

D = Material deterioration

E = Operational

F = Installations (including omissions)

U = Unable to Inspect

Information

Termite Pest Activity: Inspection

Method

Infrared

Observation


10.1.1 Termite Pest Activity

ACTIVE (LIVE) TERMITE NOT FOUND

No evidence of live termite was found

Recommendation

Contact a qualified professional.

Maintenance Item/Information Only

10.1.2 Termite Pest Activity

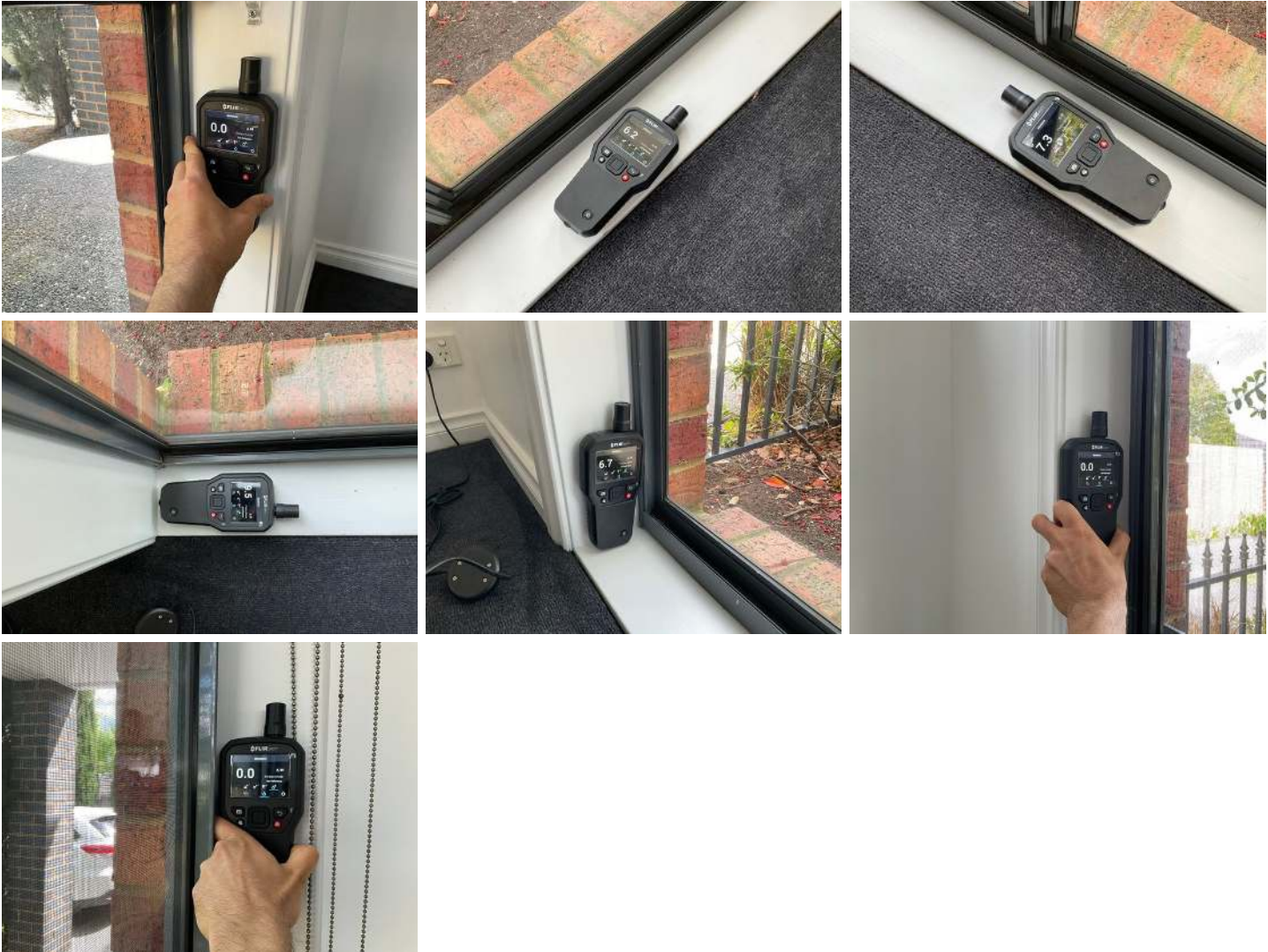
WINDOWS

Hollow section noted in front window sills. Can be due to present or previous termite activity or water damage. Further investigation required.

Recommendation

Contact a qualified professional.

 Major Defects/Safety Hazards



10.2.1 Out Building

NOT INSPECTED DUE TO CONSTRUCTION DESIGN

Recommendation

Contact a qualified professional.

 Maintenance Item/Information Only

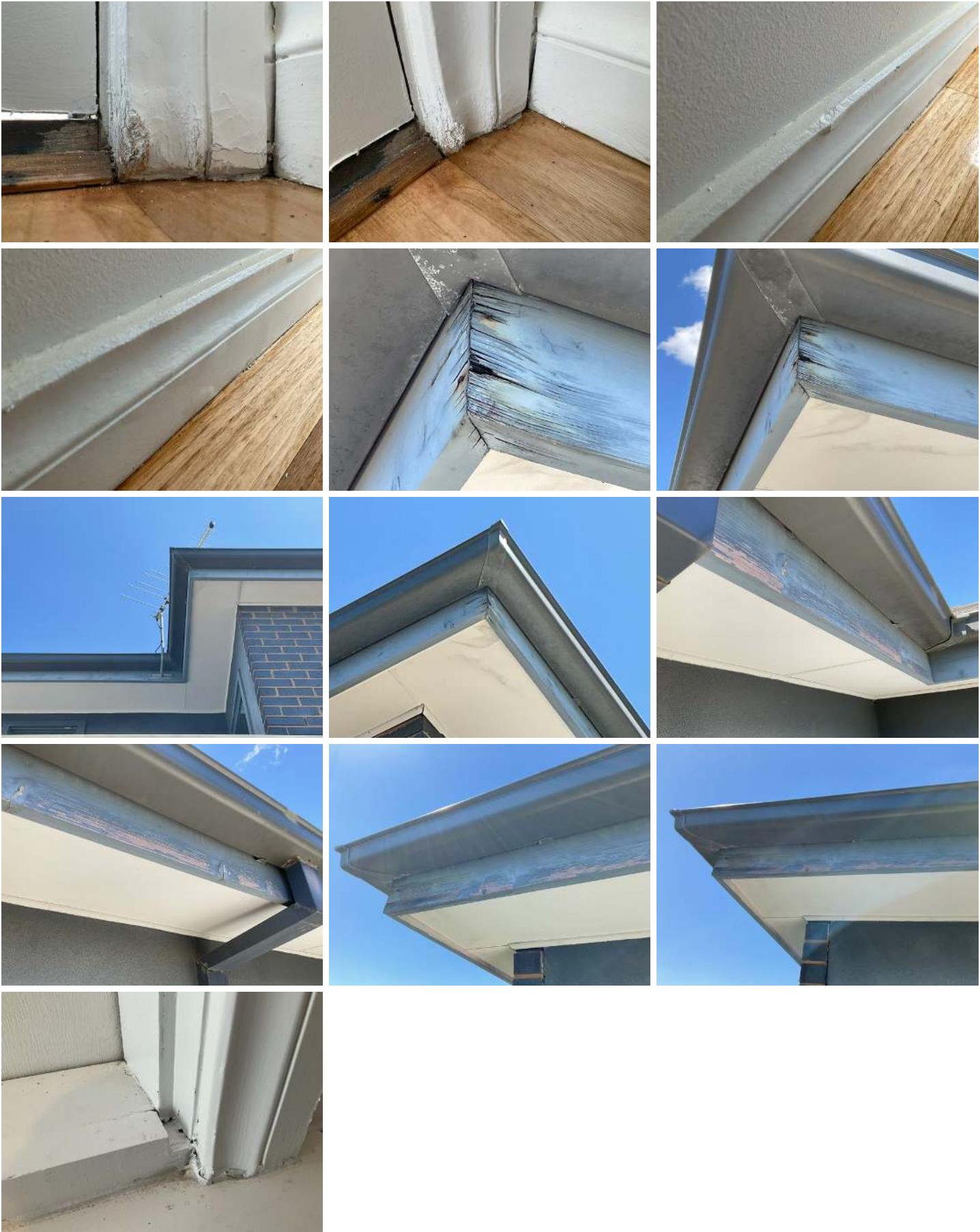
10.3.1 Fungal decay

WOOD ROT

Recommendation

Contact a qualified professional.

Major Defects/Safety Hazards



10.4.1 Conditions

**CONDUCTIVE CONDITIONS**

Several conducive conditions were noted within the property.

Conducive conditions are conditions that can cause termite infestations by providing pests with food, water, or shelter. Eliminating conducive conditions can reduce the abundance of pests around a structure, reducing the likelihood they will become a problem in the future. Additionally, pest control treatments are far more effective when conducive conditions aren't present. Many of these conditions reduce coverage of pest control treatments, cause pest control treatments to break down more quickly, or make visual inspections ineffective. For example, heavy foliage against a house will keep pest control treatments from reaching the structure, creates a high moisture environment that breaks down pesticides, and restricts the ability of pest control experts to see the structure during inspections.

Examples of conducive conditions:

- **Soil Line Too High or Foundation Too Low** - Termite can travel under the soil and enter the building
- **Foliage or mulch** - Provides a warm and humid environment for termites.
- **Trees and tree stumps** - Termites can nest inside the trees and stumps and travel under the ground hidden within 30m from the nest.
- **Low clearance subfloor** - No physical access to the low clearance areas for inspection and termite management.
- **Boundary walls** - No physical access for termite inspection and treatment. Conceal termite entry point from adjoining property.
- **Inadequate ventilation areas** - Fungal growth in damp soil attracts termites.
- **Timbers under or around the property** - Termites attracted to timber as a source of food.
- **Weep holes close to the ground** - Termite entry point.
- **Control/Expansion joints** - A great entry point for termites, especially when the sealant is damaged or degraded.
- **Concrete driveway/pathway over the edge of the slab** - Termite hidden entry point to the building.
- **Concrete Slab** - Termites can enter the building from the concrete cracks, plumbing penetrations, and joints.
- **Timber garden sleepers/retaining walls** - Termites attracted to timber as a source of food.
- **Leaking/damaged gutter and downpipes** - Moisture attracts termites.
- **Structural Timbers touching the ground** - Termites can easily travel from the ground into the timber hidden.
- **Poor Site Drainage** - Ponding Water and constantly wet soil attract termites
- **Dripping water from air conditioners, hot water service or faulty taps** - Constantly wet soil is a paradise for termites.

*** Conditions Conducive are as important as defects and timber pest activity, so before you make your purchase decision, please consider the cost of removing or managing these conditions.**

Recommendation

Contact a qualified professional.





